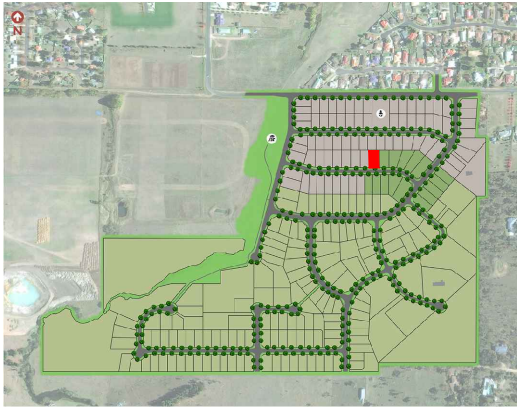


LOT 601 PASTURE STREET, ARMIDALE



**COOKES
HILL**
ARMIDALE

MASTER PLAN

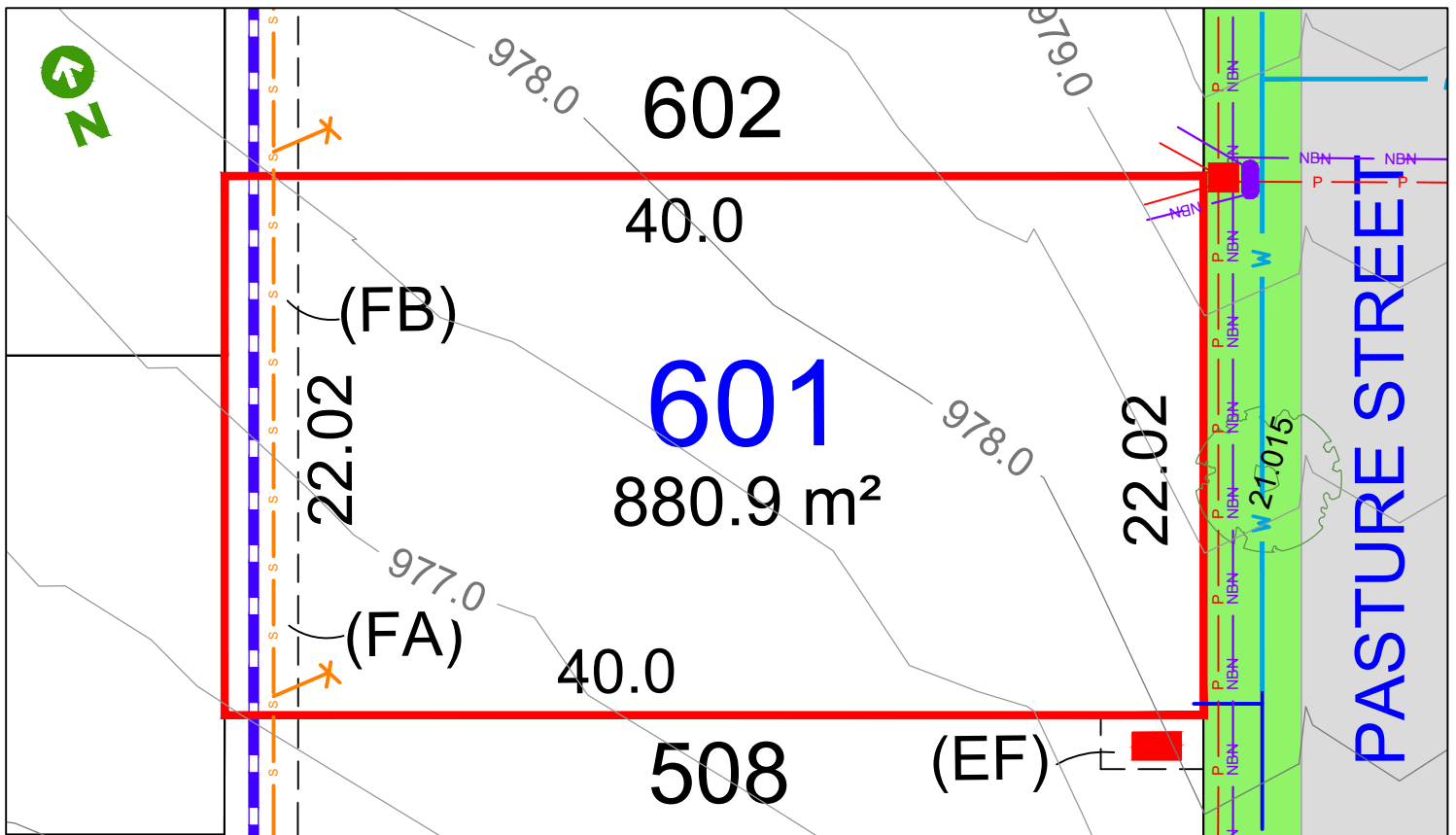
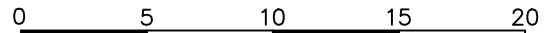


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4



LEGEND:

- | | | | |
|--|-----------------------|--|-----------------------|
| | TELSTRA /NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 0.5m |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

(FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE
(FB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
(FC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
(EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE
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REVISIONS: HD45 STAGE 6 MARKETING r1

DATE: 24th MAY 2022

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 602 PASTURE STREET, ARMIDALE



COOKES HILL
ARMIDALE

MASTER PLAN

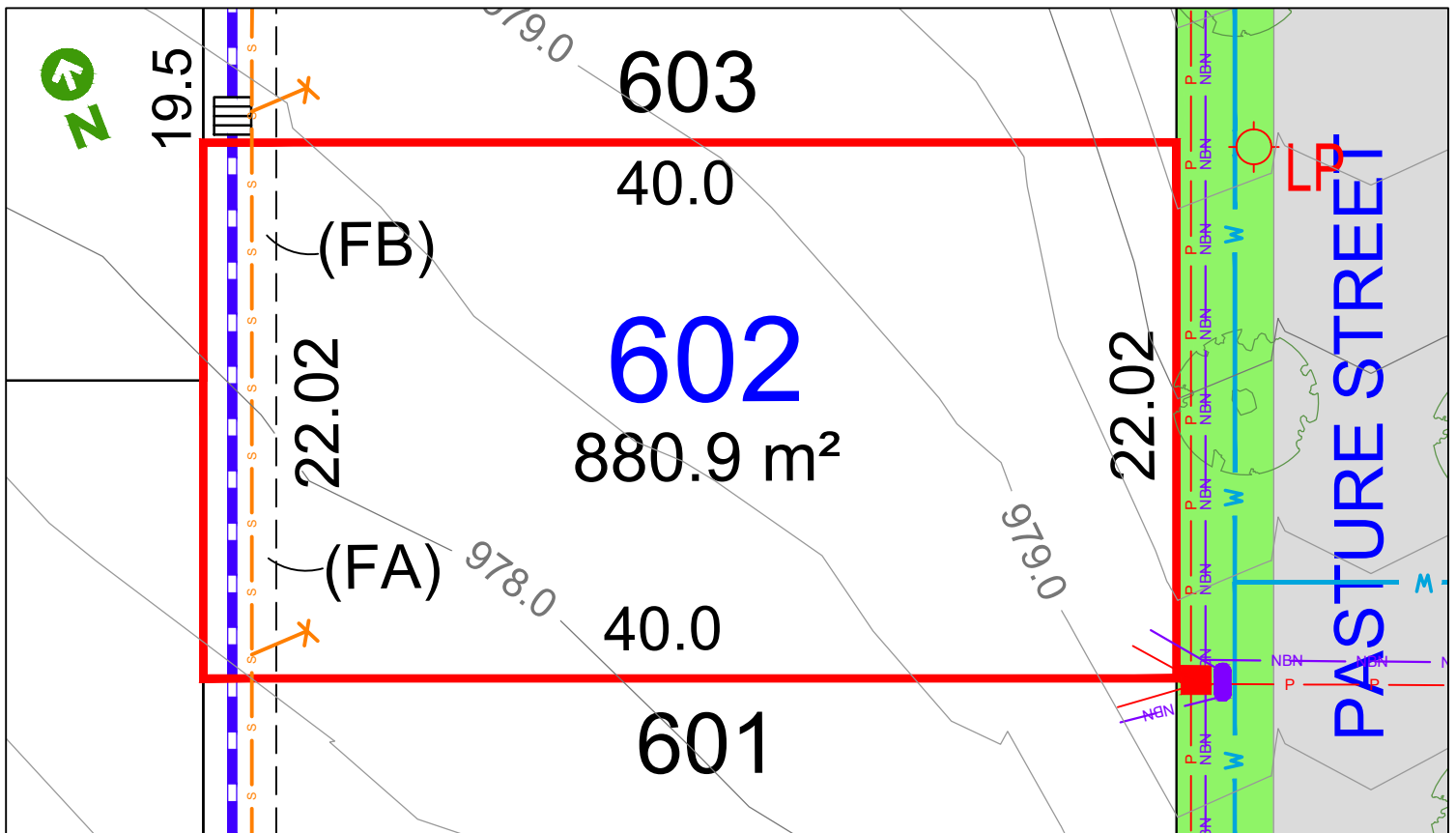
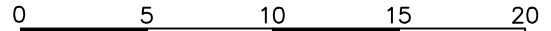


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4



LEGEND:

- | | | | |
|--|-----------------------|--|-----------------------|
| | TELSTRA /NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 0.5m |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

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(FB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
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REVISIONS/ HD45 STAGE 6 MARKETING r1

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LOT 603 PASTURE STREET, ARMIDALE



**COOKES
HILL**
ARMIDALE

MASTER PLAN

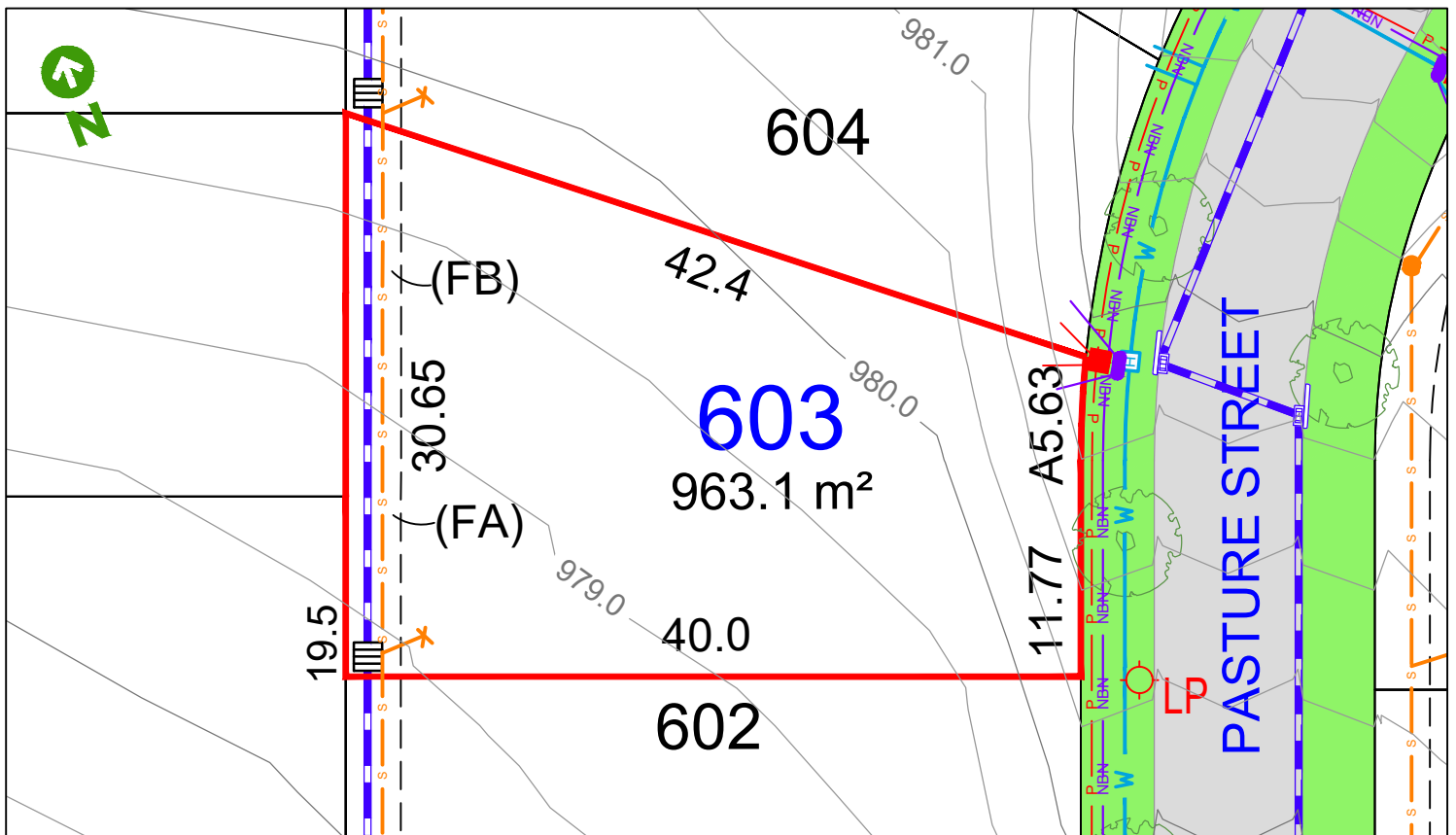
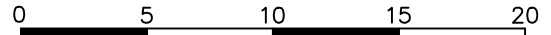


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:400 @ A4



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRICITY SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER
- CONTOUR INTERVAL 0.5m

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE
 - (FB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
 - (FC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
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LOT 604 PASTURE STREET, ARMIDALE



**COOKES
HILL**
ARMIDALE

MASTER PLAN

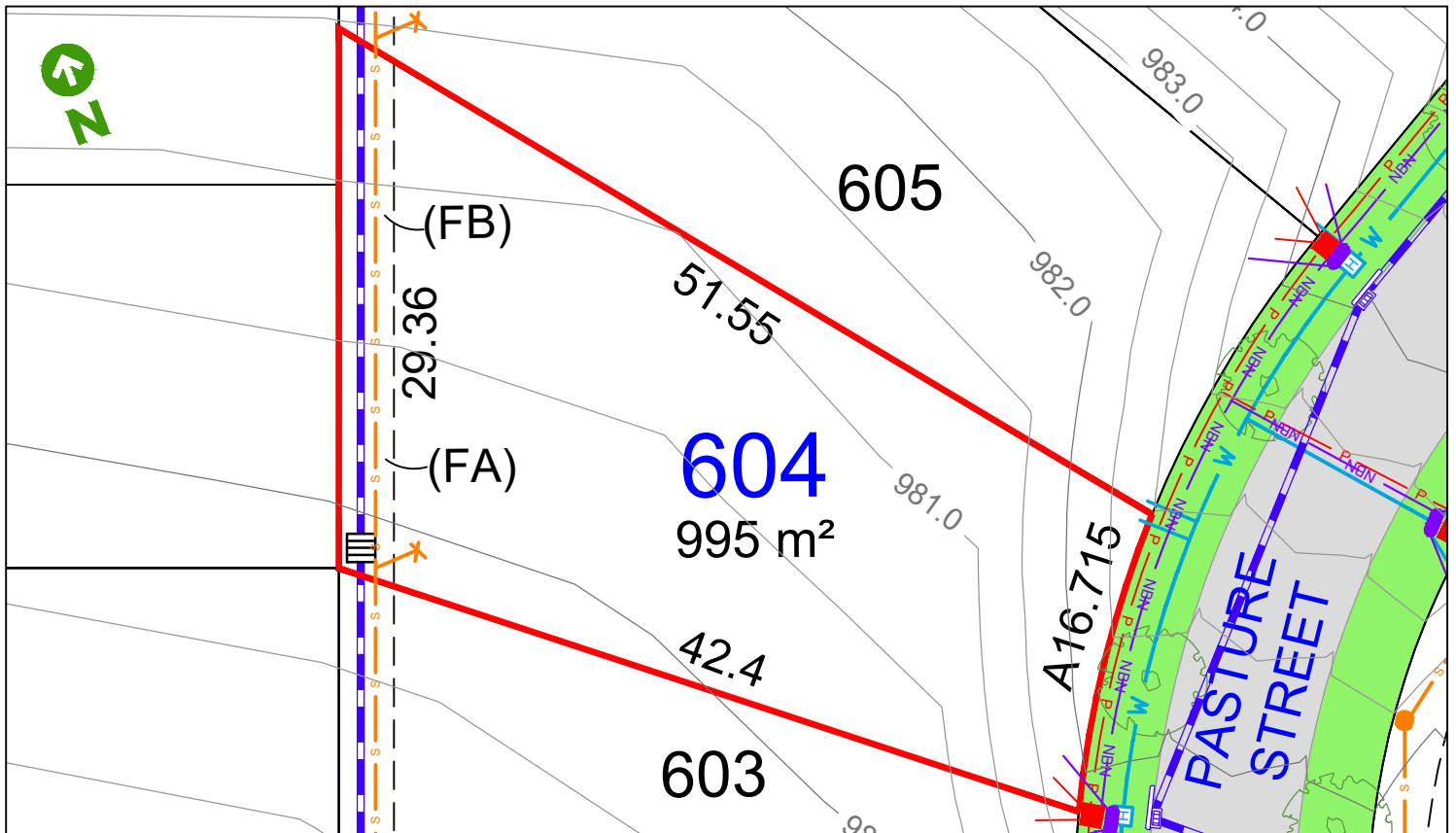
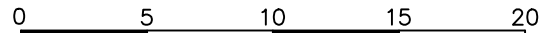


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:400 @ A4



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRIC SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

(FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE
(FB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
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LOT 605 PASTURE STREET, ARMIDALE



**COOKES
HILL**
ARMIDALE

MASTER PLAN

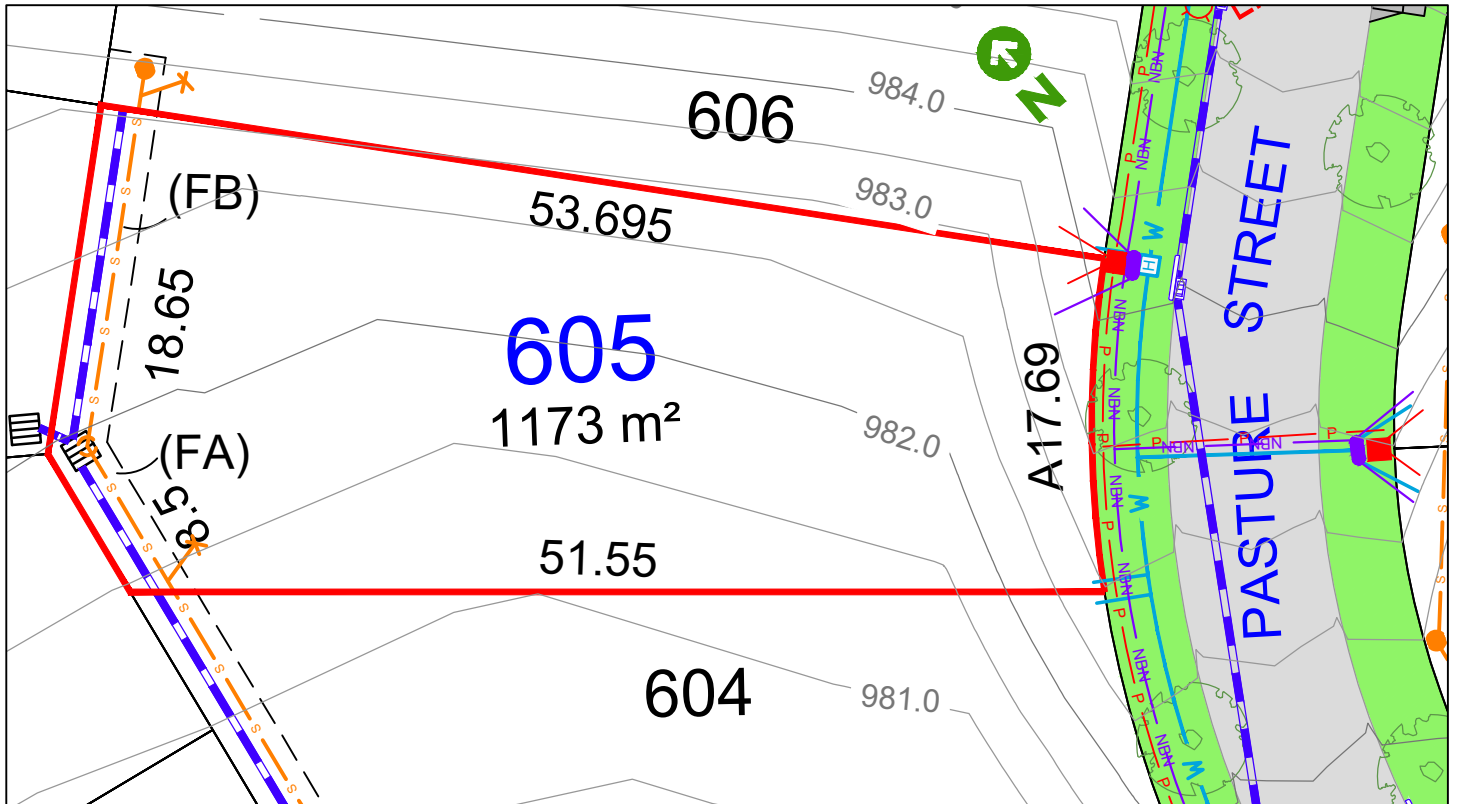
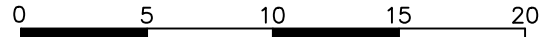


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:400 @ A4



LEGEND:

- | | | | |
|--|-----------------------|--|-----------------------|
| | TELSTRA /NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 0.5m |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

(FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE
(FB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
(FC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
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DATE: 24th MAY 2022

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LOT 606 PASTURE STREET, ARMIDALE



**COOKES
HILL**
ARMIDALE

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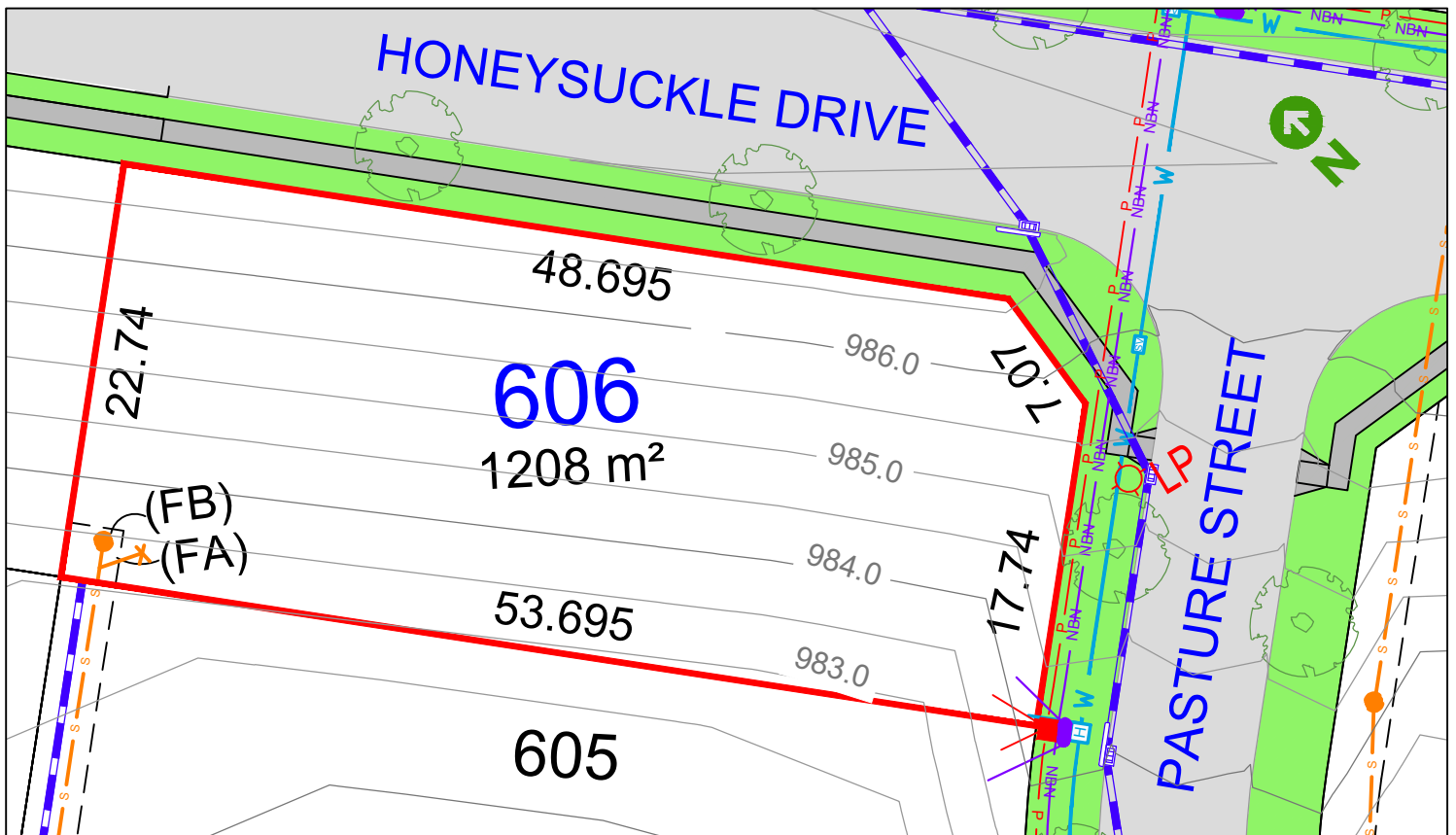
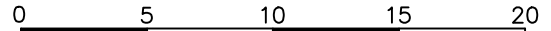


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:400 @ A4



LEGEND:

	TELSTRA /NBN PIT		STORMWATER PIPE
	HYDRANT		SEWER JUNCTION
	STOP VALVE		SEWER MAIN
	SEWER MANHOLE		WATER MAIN
	LIGHT POLE		TELSTRA /NBN
	KERB INLET PIT		UNDER GROUND POWER
	STORMWATER PIT		CONTOUR INTERVAL 0.5m
	ELECTRICITY PILLAR		
	ELECTRICAL SUBSTATION		
	STREET TREES		

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

(FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE
(FB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
(FC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
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BY: HIGH DEFINITION DESIGN PTY LTD

LOT 607 HONEYSUCKLE DRIVE, ARMIDALE



COOKES HILL
ARMIDALE

MASTER PLAN

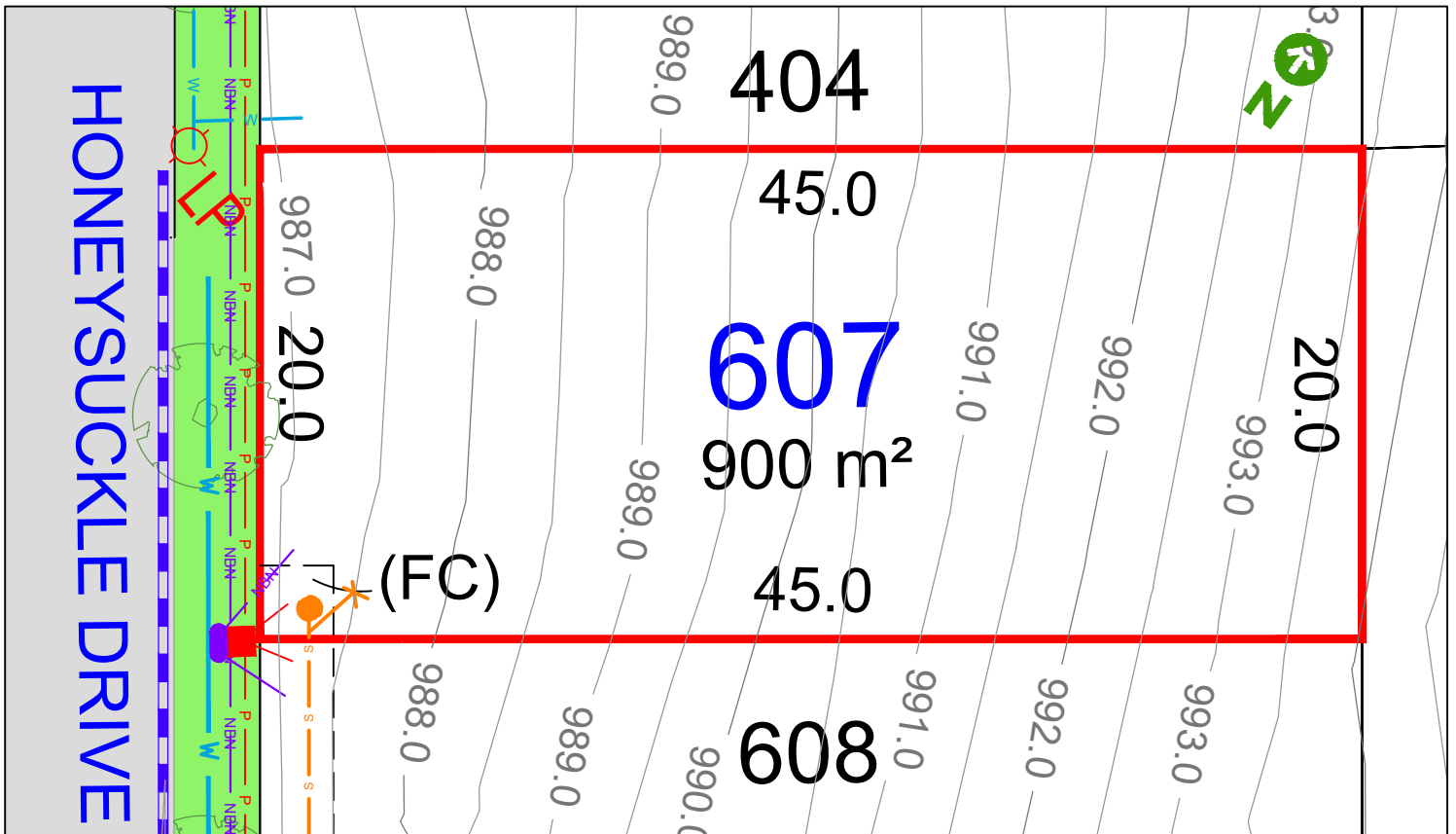
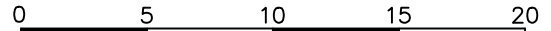


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4



LEGEND:

- | | | | |
|--|-----------------------|--|---|
| | TELSTRA /NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 0.5m |
| | ELECTRICITY PILLAR | | Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction) |
| | ELECTRICAL SUBSTATION | | (FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE |
| | STREET TREES | | (FB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE |
| | | | (FC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE |
| | | | (EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE |

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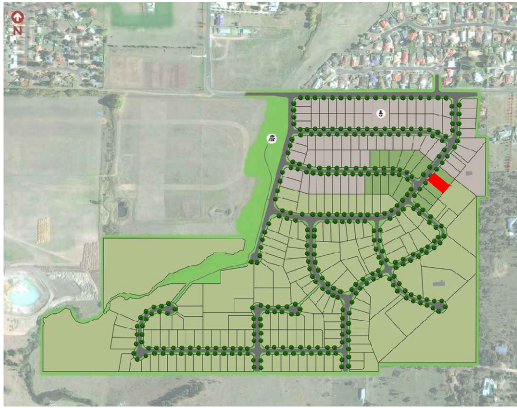
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LOT 608 HONEYSUCKLE DRIVE, ARMIDALE



**COOKES
HILL**
ARMIDALE

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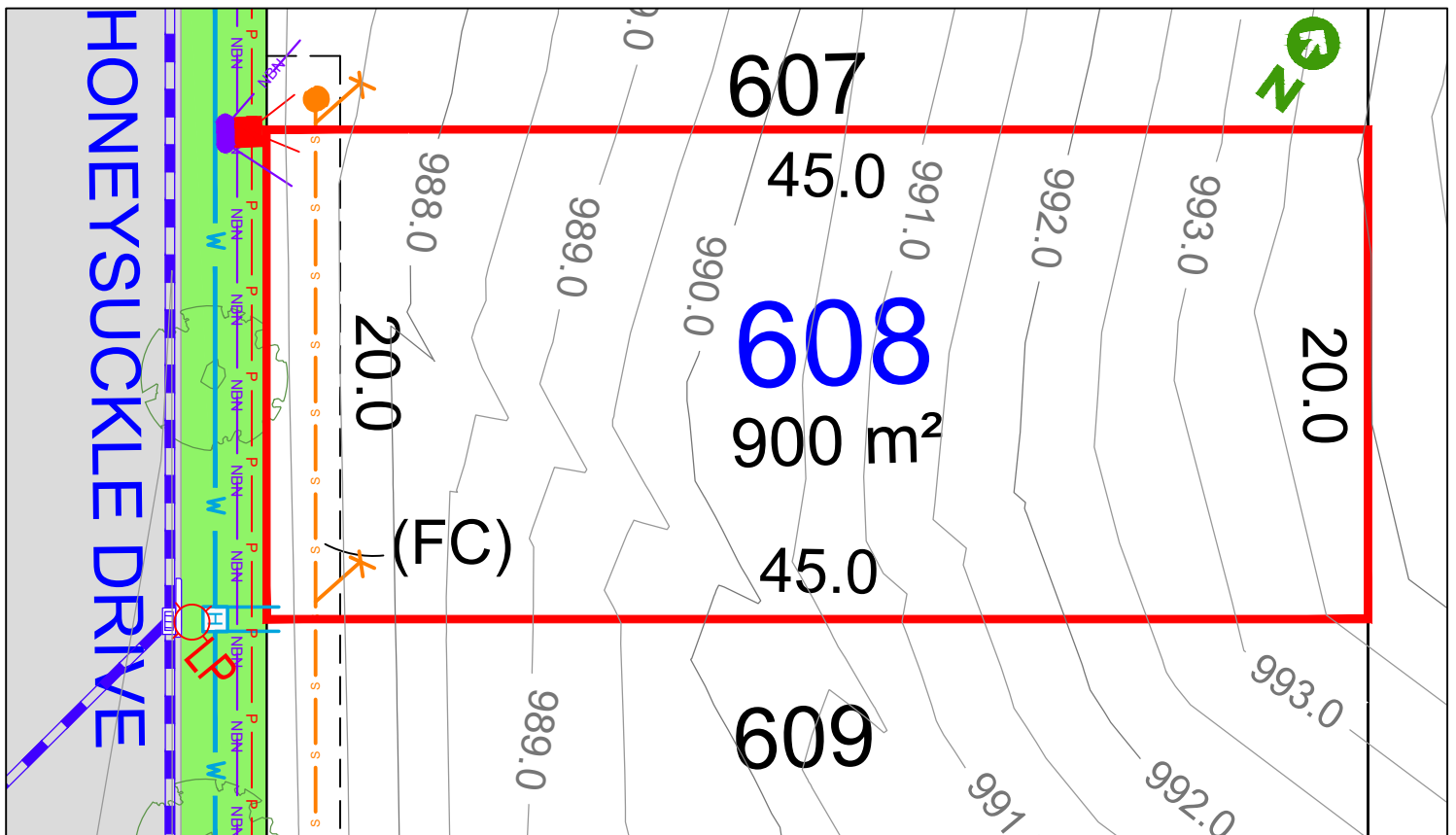
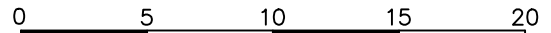


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4



LEGEND:

- | | | | |
|--|-----------------------|--|-----------------------|
| | TELSTRA /NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 0.5m |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE
(FB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
(FC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
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LOT 609 HONEYSUCKLE DRIVE, ARMIDALE



**COOKES
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ARMIDALE

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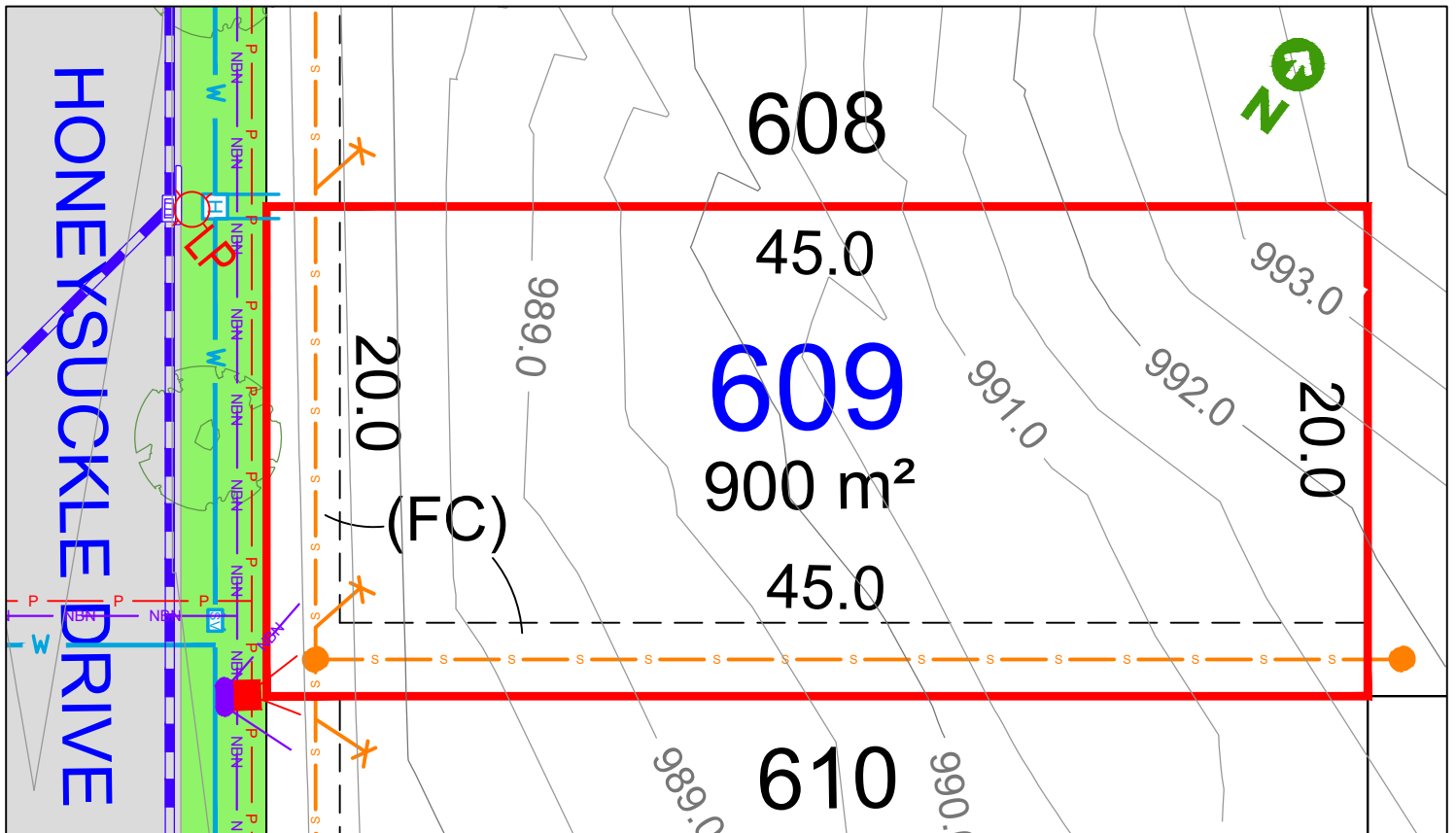
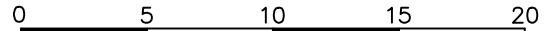


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4



LEGEND:

- | | | | |
|--|-----------------------|--|-----------------------|
| | TELSTRA /NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 0.5m |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

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LOT 610 HONEYSUCKLE DRIVE, ARMIDALE



**COOKES
HILL**
ARMIDALE

MASTER PLAN

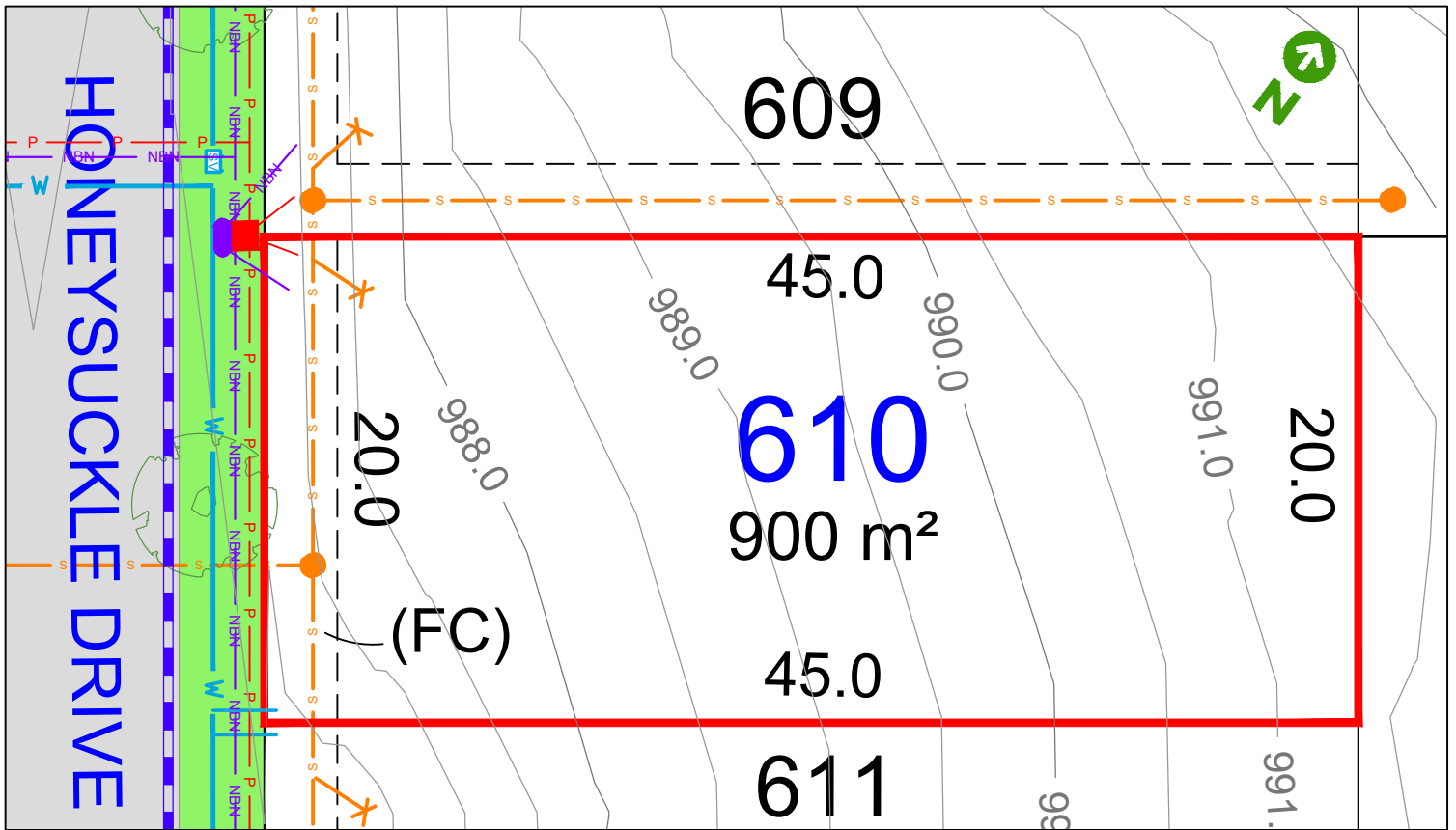
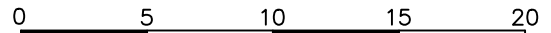


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4



LEGEND:

- | | | | |
|--|-----------------------|--|-----------------------|
| | TELSTRA /NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
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| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

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(to be confirmed at completion of construction)

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REVISION/S: HD45 STAGE 6 MARKETING r1

DATE: 24th MAY 2022

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 611 HONEYSUCKLE DRIVE, ARMIDALE



**COOKES
HILL**
ARMIDALE

MASTER PLAN

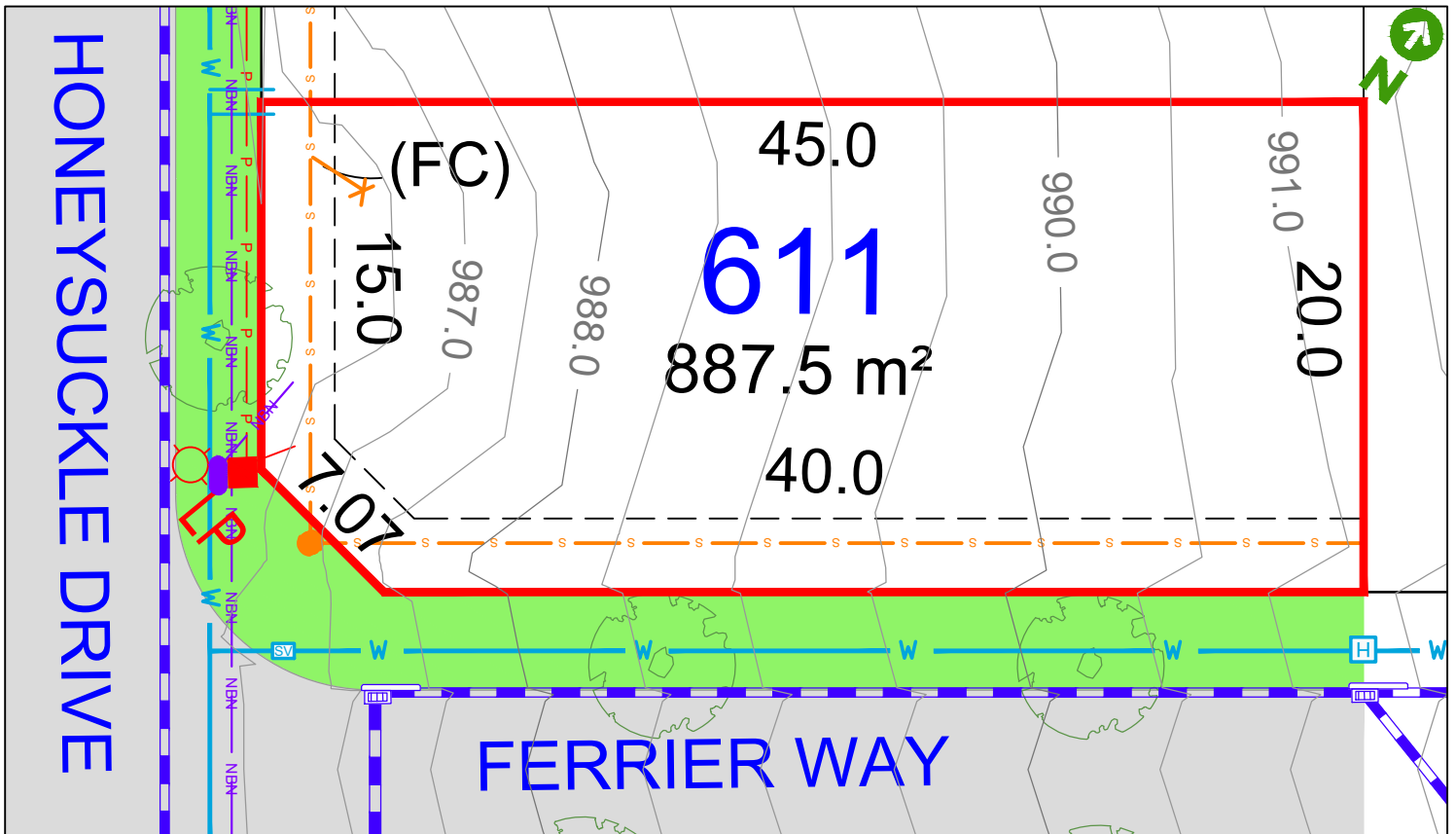
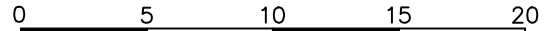


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4



LEGEND:

- | | | | |
|--|-----------------------|--|-----------------------|
| | TELSTRA /NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 0.5m |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE
(FB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
(FC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
(EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE
GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS
ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

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DATE: 24th MAY 2022

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 612 PASTURE STREET, ARMIDALE



**COOKES
HILL**
ARMIDALE

MASTER PLAN

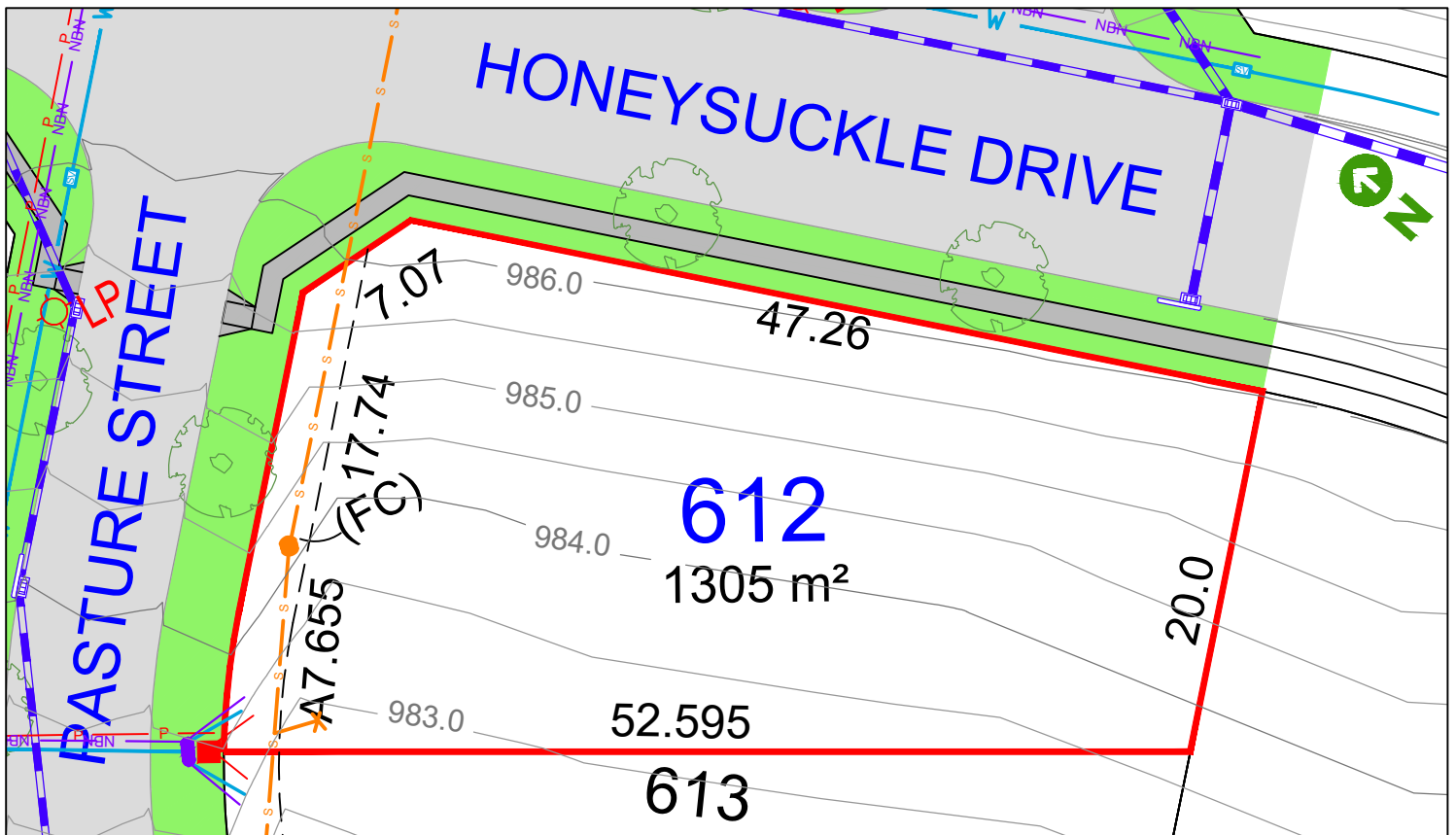
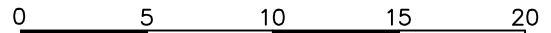


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:400 @ A4



LEGEND:

- | | | | |
|--|-----------------------|--|-----------------------|
| | TELSTRA /NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 0.5m |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE
(FB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
(FC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
(EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE
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