LOT 601 PASTURE STREET, ARMIDALE



10

15

20

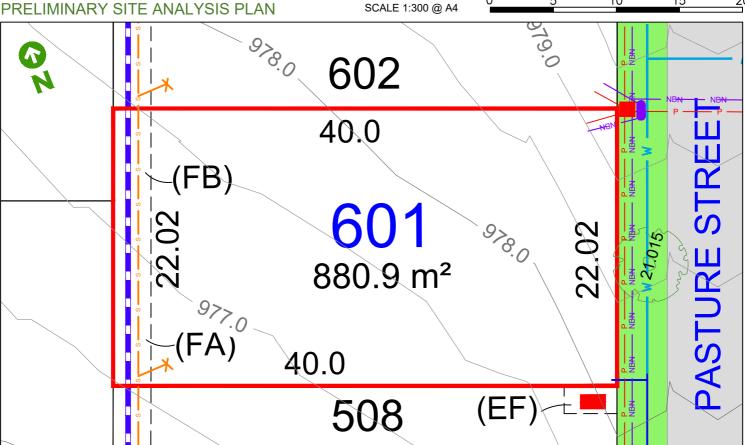
MASTER PLAN



PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN





LEGEND:



	STORMWATER PIPE
*	SEWER JUNCTION
s	SEWER MAIN
w	WATER MAIN

TELSTRA /NBN UNDER GROUND POWER

CONTOUR INTERVAL 0.5m

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

(FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE

- (FB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE
- (FC) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE

(EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

6

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to 3 the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5
- assist Purchasers in obtaining quotations/tenders for dwelling construction. This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 6 MARKETING r1
DATE:	24th MAY 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 602 PASTURE STREET, ARMIDALE



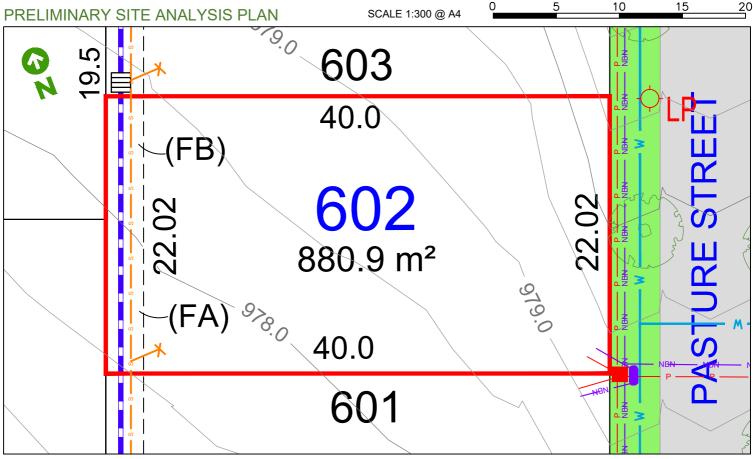
MASTER PLAN



STAGE PLAN



5



LEGEND:



	STORMWATER PIPE
*	SEWER JUNCTION
—— s ——	SEWER MAIN
w	WATER MAIN

TELSTRA /NBN

UNDER GROUND POWER CONTOUR INTERVAL 0.5m

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

(FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE

- (FB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE
- (FC) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE

(EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS

6

ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- 3 Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5
- assist Purchasers in obtaining quotations/tenders for dwelling construction. This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 6 MARKETING r1
DATE:	24th MAY 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 603 PASTURE STREET, ARMIDALE



10

15

20

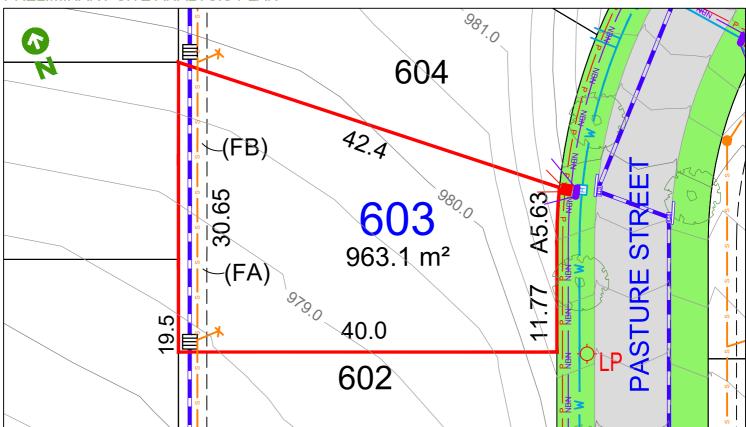




PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN





SCALE 1:400 @ A4

LEGEND:

•	TELSTRA /NBN PIT
\bigcirc	HYDRANT
	STOP VALVE
•	SEWER MANHOLE
¢ ^{LP}	LIGHT POLE
Ē	KERB INLET PIT
	STORMWATER PIT
	ELECTRICITY PILLAR
10	ELECTRICAL SUBSTA
803	STREET TREES

	STORMWATER PIPE
*	SEWER JUNCTION
s	SEWER MAIN

- WATER MAIN
- **TELSTRA /NBN**

UNDER GROUND POWER CONTOUR INTERVAL 0.5m

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

(FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE

- (FB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE
- (FC) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE

(EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

6

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- 3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5.
- assist Purchasers in obtaining quotations/tenders for dwelling construction. This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 6 MARKETING r1
DATE:	24th MAY 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



cookeshill.com.au

SUBSTATION

LOT 604 PASTURE STREET, ARMIDALE



15

20

10

MASTER PLAN



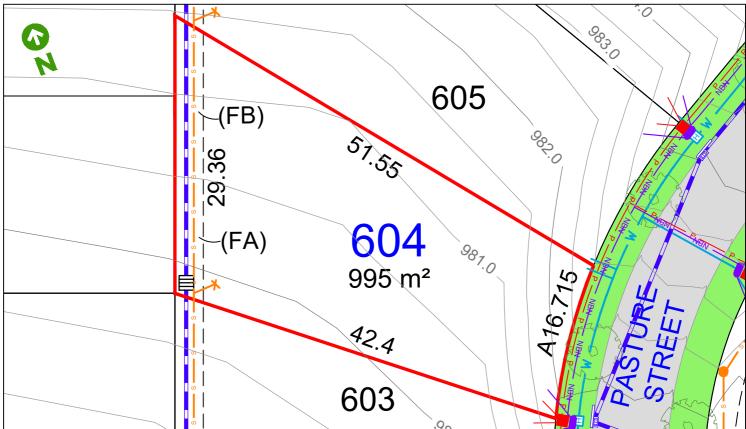
PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN



0

SCALE 1:400 @ A4



LEGEND:

•	TELSTRA /NBN PIT
0	HYDRANT
٢	STOP VALVE
•	SEWER MANHOLE
¢ ^{LP}	LIGHT POLE
	KERB INLET PIT
	STORMWATER PIT
	ELECTRICITY PILLAR
	ELECTRICAL SUBSTATION
803	STREET TREES

	STORMWATER PIPE
*	SEWER JUNCTION
—— s ——	SEWER MAIN
w	WATER MAIN

MAIN **TELSTRA /NBN**

UNDER GROUND POWER

CONTOUR INTERVAL 0.5m

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

- (FA) EASEMENT TO DRAINAGE OF SEWER 4 WIDE
- (FB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE
- (FC) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE

(EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

6

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- 3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5.
- assist Purchasers in obtaining quotations/tenders for dwelling construction. This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 6 MARKETING r1
DATE:	24th MAY 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 605 PASTURE STREET, ARMIDALE



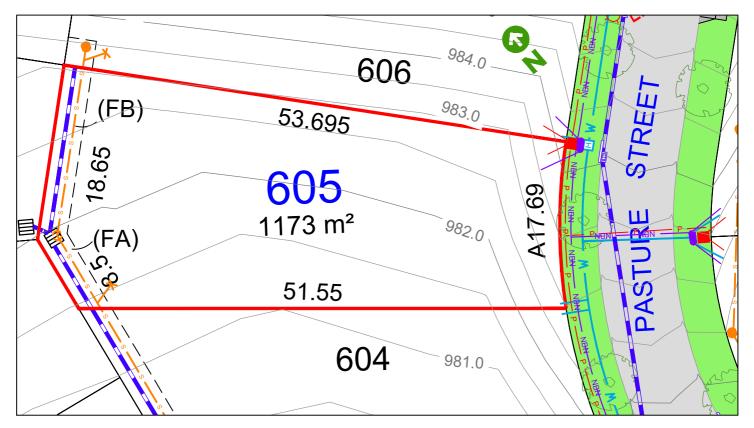
MASTER PLAN



PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN





LEGEND:

•	TELSTRA /NI
\bigcirc	HYDRANT
٢	STOP VALVE
•	SEWER MAN
ф ^{LP}	LIGHT POLE
	KERB INLET
	STORMWAT
	ELECTRICIT
70	ELECTRICA
E Cons	STREET TRI

			ISCLAIM
NBN PIT	STORMWATER PIPE	1. 2.	Contours are based considered as final o Location of utility ser
VE	s — sewer Main	3.	Supply Authority cert Survey information s the Deposited Plan a
ANHOLE LE		4. 5.	Bushfire and Geotec This Preliminary Site assist Purchasers in
ET PIT	CONTOUR INTERVAL 0.5m	6.	This document does
ATER PIT ITY PILLAR	Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)		
CAL SUBSTATION	(FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE (FB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE (FC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE (EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL II		I ATION 4.2 WIDE

GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

D	ISC	LAI	M	ER/	Ν	C)T	Έ	S:
	<u> </u>			e · · ·					

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to 3. the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5.
- assist Purchasers in obtaining quotations/tenders for dwelling construction. 6 This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 6 MARKETING r1
DATE:	24th MAY 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 606 PASTURE STREET, ARMIDALE



10

15

20

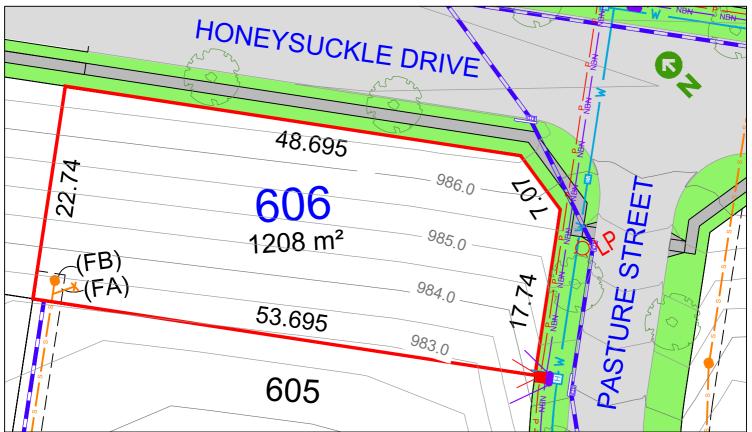
MASTER PLAN



PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN





SCALE 1:400 @ A4

LEGEND:



N PIT	
	*
	s
	<u> </u>
IOLE	NB N
	— Р —
ЧТ	
r Pit	Anticipated Si

	STORMWATER PIPE
×-	SEWER JUNCTION
s ——	SEWER MAIN
w—	WATER MAIN
	TELOTOA MIDNI

NBN TELSTRA /NBN
P UNDER GROUND POWER

CONTOUR INTERVAL 0.5m

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

(FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE

- (FB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE
- (FC) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE

(EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS

6

ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
 This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
 - assist Purchasers in obtaining quotations/tenders for dwelling construction. This document does not form part of the Contract of Sale of the Land.

REVISION/S :	HD45 STAGE 6 MARKETING r1
DATE:	24th MAY 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 607 HONEYSUCKLE DRIVE, ARMIDALE

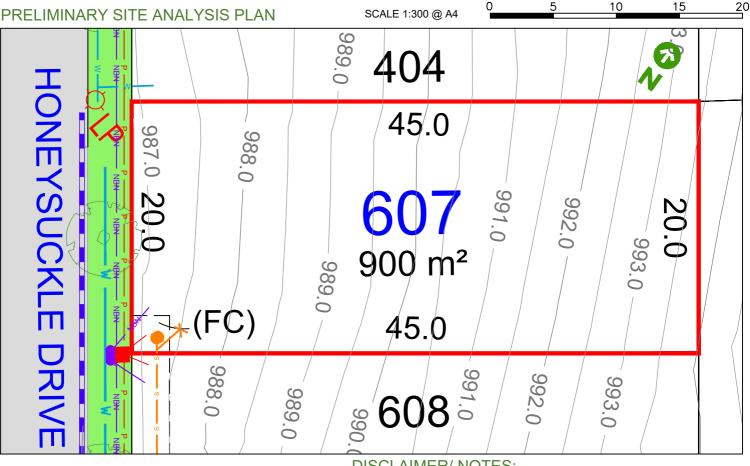


MASTER PLAN



STAGE PLAN





5

6

LEGEND:



	STORMWATER PIPE
*	SEWER JUNCTION

- SEWER MAIN
- WATER MAIN
- **TELSTRA /NBN** UNDER GROUND POWER

CONTOUR INTERVAL 0.5m

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

- (FA) EASEMENT TO DRAINAGE OF SEWER 4 WIDE (FB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE
- (FC) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
- (EF) EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS

ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

DISCLAIMER/ NOTES:

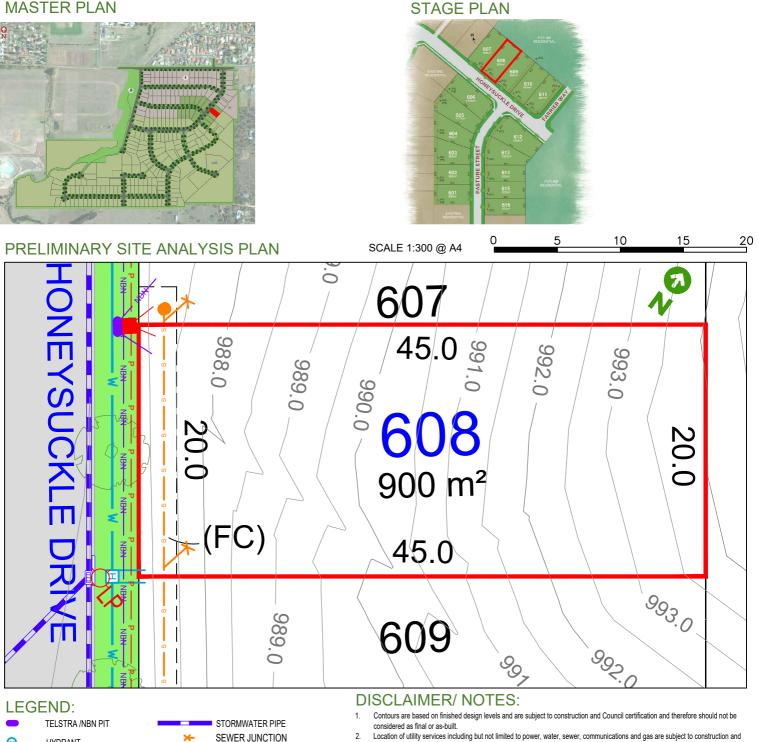
- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- 3 Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
- assist Purchasers in obtaining quotations/tenders for dwelling construction. This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 6 MARKETING r1
DATE:	24th MAY 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 608 HONEYSUCKLE DRIVE, ARMIDALE





- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- 3 Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports 5 This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
- assist Purchasers in obtaining quotations/tenders for dwelling construction. This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 6 MARKETING r1
DATE:	24th MAY 2022
BY:	HIGH DEFINITION DESIGN PTY LTD





	STORMWATE
*	SEWER JUN
s	SEWER MAIN

- WATER MAIN
 - **TELSTRA /NBN**

UNDER GROUND POWER

CONTOUR INTERVAL 0.5m

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

- (FA) EASEMENT TO DRAINAGE OF SEWER 4 WIDE
- (FB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE
- (FC) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE

(EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

6

LOT 609 HONEYSUCKLE DRIVE, ARMIDALE

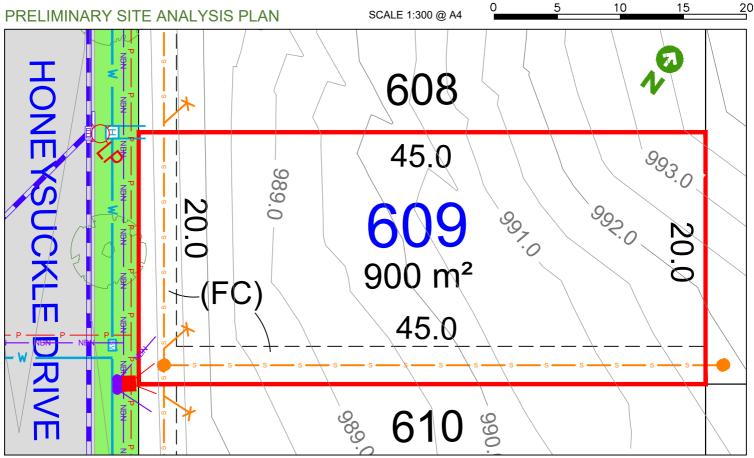


MASTER PLAN



STAGE PLAN





LEGEND:



TELSTRA /NBN PIT
HYDRANT
STOP VALVE
SEWER MANHOLE
LIGHT POLE
KERB INLET PIT
STORMWATER PIT
ELECTRICITY PILLAR
ELECTRICAL SUBSTATION
STREET TREES

_	STORMWATER PIPE

- SEWER JUNCTION SEWER MAIN
- WATER MAIN
- **TELSTRA /NBN**
- UNDER GROUND POWER

CONTOUR INTERVAL 0.5m

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

- (FA) EASEMENT TO DRAINAGE OF SEWER 4 WIDE (FB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE
- (FC) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE

(EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to 3. the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5. assist Purchasers in obtaining quotations/tenders for dwelling construction.
- 6 This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 6 MARKETING r1
DATE:	24th MAY 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 610 HONEYSUCKLE DRIVE, ARMIDALE



10

15

20

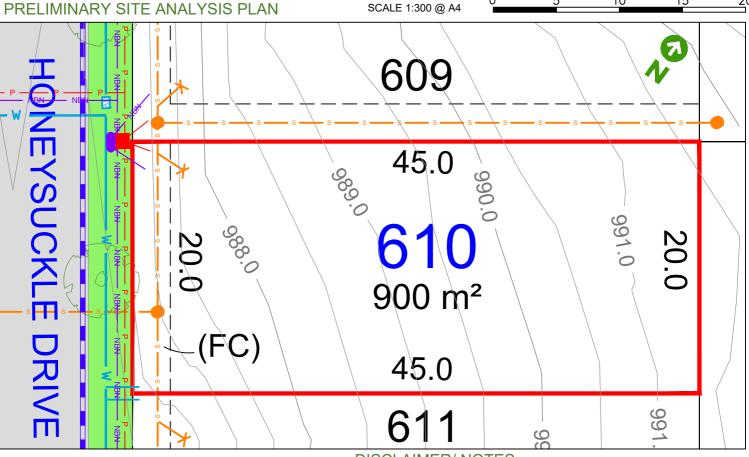
MASTER PLAN



PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN





5

6

I FGEND

LEOLIND.	
•	TELSTRA /NBN PIT
\bigcirc	HYDRANT
	STOP VALVE
•	SEWER MANHOLE
ф ^{LP}	LIGHT POLE
	KERB INLET PIT
	STORMWATER PIT
	ELECTRICITY PILL
	ELECTRICAL SUBS

503

	LIGHT POLE
	KERB INLET PIT
	STORMWATER PIT
	ELECTRICITY PILLAR
	ELECTRICAL SUBSTATION
ì	STREET TREES

	STORMWATER PIPE
* -	SEWER JUNCTION

- SEWER MAIN
- WATER MAIN **TELSTRA /NBN**
- UNDER GROUND POWER

CONTOUR INTERVAL 0.5m

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

- (FA) EASEMENT TO DRAINAGE OF SEWER 4 WIDE (FB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE
- (FC) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE

(EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS

ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- 3 Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
- assist Purchasers in obtaining quotations/tenders for dwelling construction. This document does not form part of the Contract of Sale of the Land.

REVISION/S :	HD45 STAGE 6 MARKETING r1
DATE:	24th MAY 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 611 HONEYSUCKLE DRIVE, ARMIDALE



MASTER PLAN



PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN

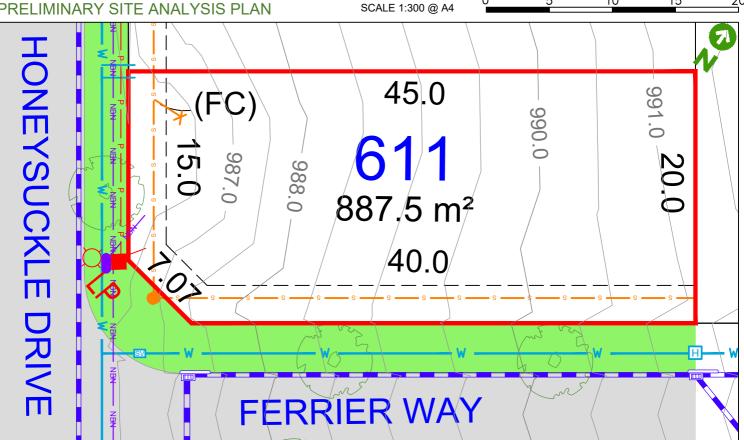


0

5

10

15



LEGEND:



HYDRANT	
STOP VALVE	
SEWER MANHOLE	
KERB INLET PIT	
or of all ministricity of the	
ELECTRICITY PILLAR	
ELECTRICAL SUBSTATION	

STREET TREES

	STORMWATER PIPE
× -	SEWER JUNCTION
- s	SEWER MAIN

WATER MAIN **TELSTRA /NBN**

UNDER GROUND POWER

CONTOUR INTERVAL 0.5m

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

(FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE

- (FB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE
- (FC) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE

(EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to 3 the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5 assist Purchasers in obtaining quotations/tenders for dwelling construction.
- 6 This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 6 MARKETING r1
DATE:	24th MAY 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 612 PASTURE STREET, ARMIDALE



10

15

20

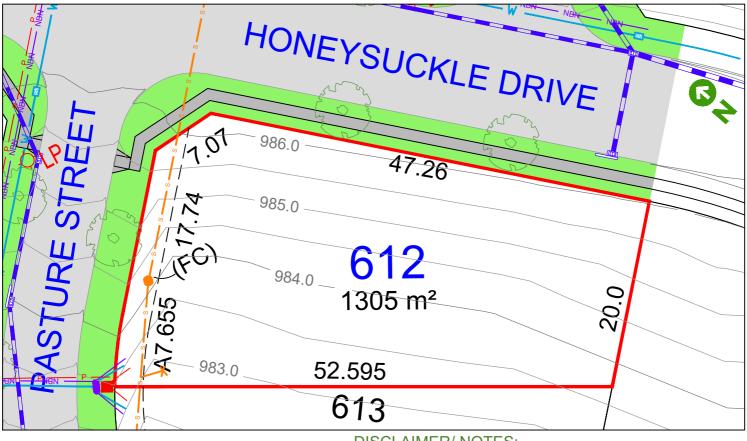
MASTER PLAN



PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN





6

SCALE 1:400 @ A4

LEGEND:

•	TELSTRA /NBN PIT
\bigcirc	HYDRANT
	STOP VALVE
•	SEWER MANHOLE
ф ^{LP}	LIGHT POLE
	KERB INLET PIT
	STORMWATER PIT
	ELECTRICITY PILLAR
	ELECTRICAL SUBSTATION
803	STREET TREES

*- S	STORMWATER PIPE SEWER JUNCTION SEWER MAIN
	TELSTRA /NBN
	CONTOUR INTERVAL 0.5m
	Classification - H1 Class at completion of construction)

cookeshill.com.au

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports
 This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
 - assist Purchasers in obtaining quotations/tenders for dwelling construction.
 - This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 6 MARKETING r1
DATE:	24th MAY 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



(EF) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

(FA) - EASEMENT TO DRAINAGE OF SEWER 4 WIDE

(FB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE

(FC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE