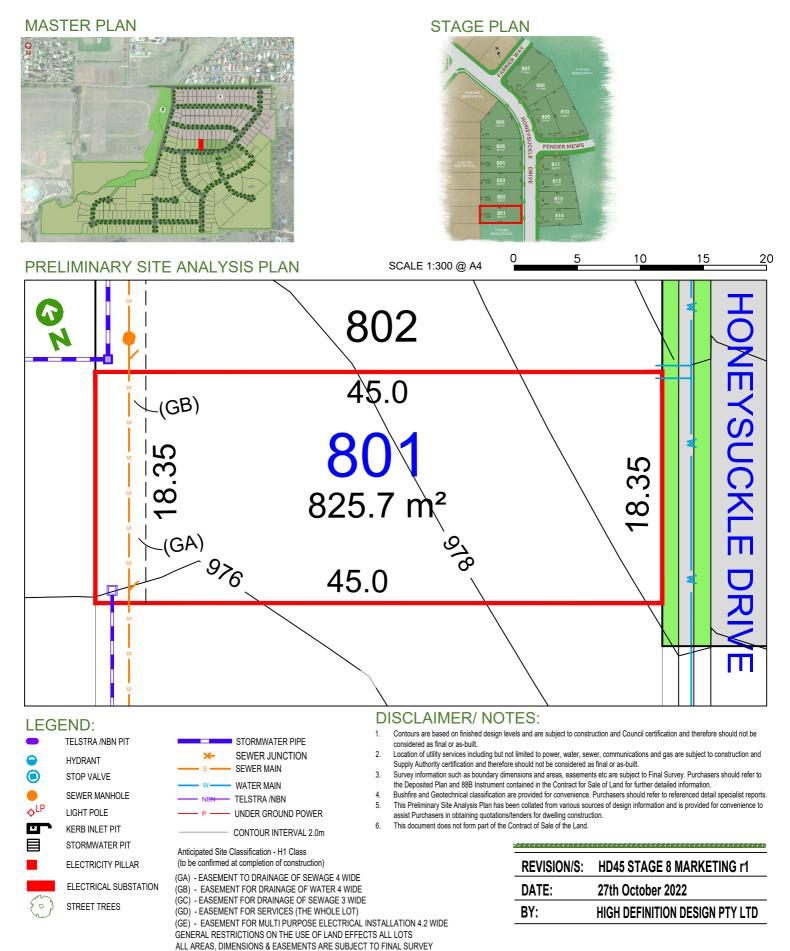
LOT 801 HONEYSUCKLE DRIVE, ARMIDALE

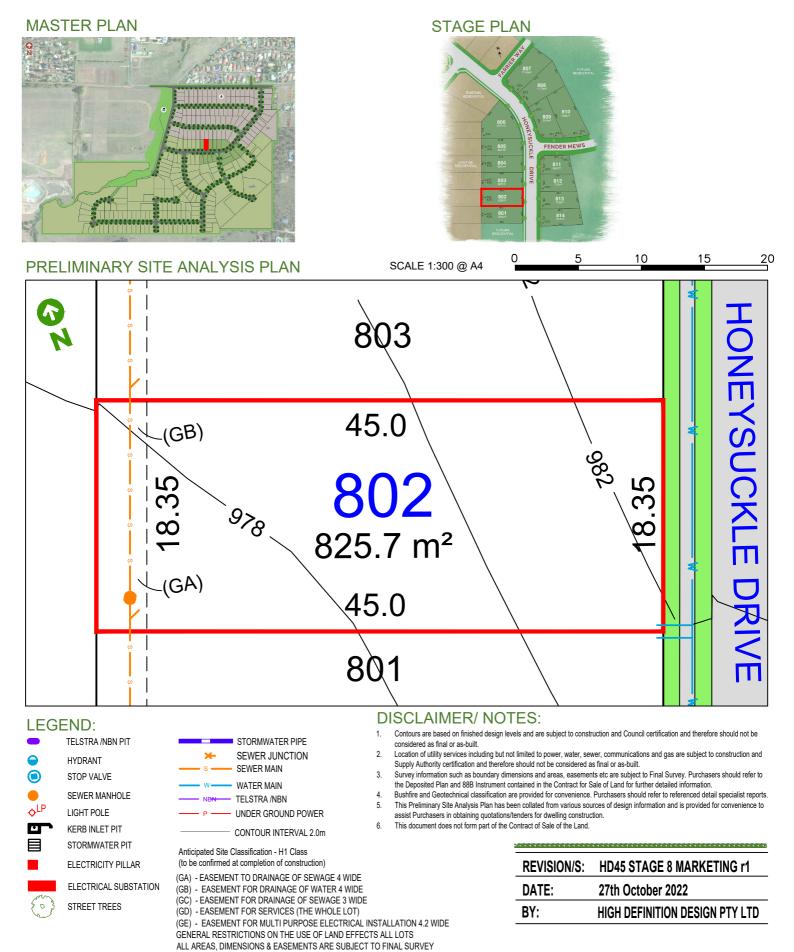






LOT 802 HONEYSUCKLE DRIVE, ARMIDALE







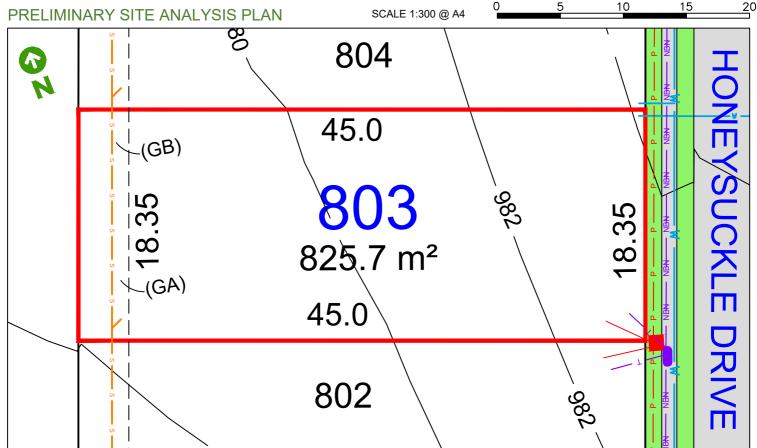
LOT 803 HONEYSUCKLE DRIVE, ARMIDALE





STAGE PLAN





LEGEND:

	TELSTRA /NBN PIT
0	HYDRANT
	STOP VALVE
	SEWER MANHOLE
ф ^{LP}	LIGHT POLE
	KERB INLET PIT
	STORMWATER PIT
	ELECTRICITY PILLAR
	ELECTRICAL SUBSTATION
603	STREET TREES

	STORMWATER PIPE
*	SEWER JUNCTION
s	 SEWER MAIN
— w —	WATER MAIN
NBN	TELSTRA /NBN
<u> </u>	UNDER GROUND POWER
	CONTOUR INTERVAL 2.0m
	Classification - H1 Class

ed at compl ion of constru ion)

(GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE

- (GB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE (GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
- (GD) EASEMENT FOR SERVICES (THE WHOLE LOT)

(GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

6

DISCLAIMER/ NOTES:

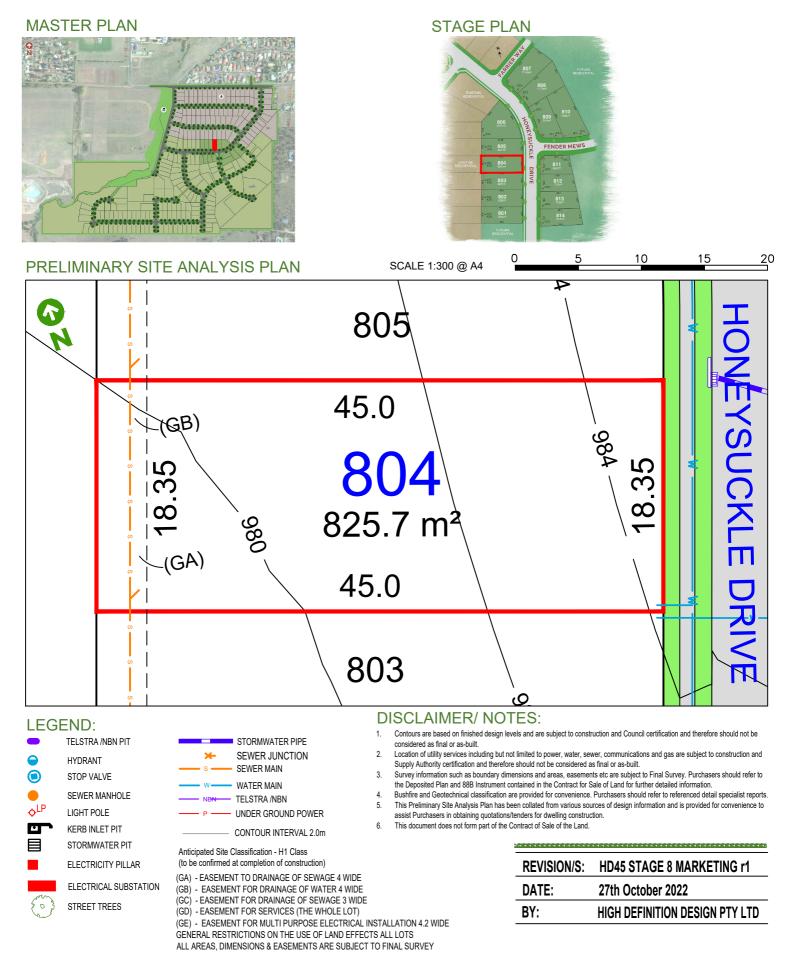
- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5
 - assist Purchasers in obtaining quotations/tenders for dwelling construction. This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 8 MARKETING r1
DATE:	27th October 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 801 HONEYSUCKLE DRIVE, ARMIDALE







LOT 805 HONEYSUCKLE DRIVE, ARMIDALE

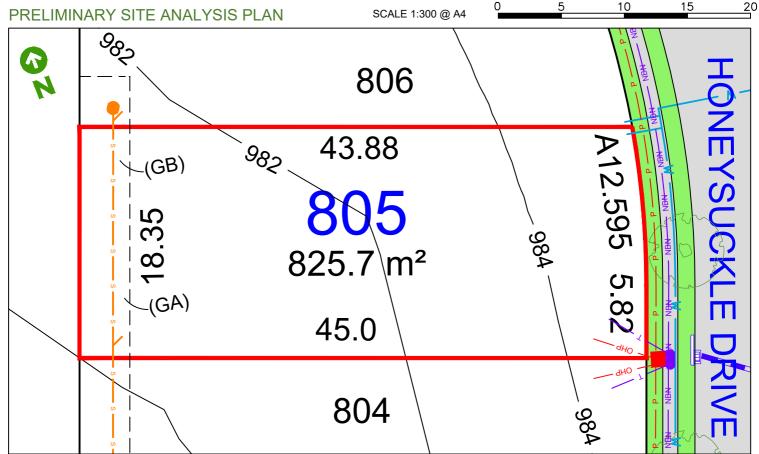






STAGE PLAN





LEGEND:

	TELSTRA /NBN PIT
•	HYDRANT
0	STOP VALVE
	SEWER MANHOLE
ф ^{LP}	LIGHT POLE
	KERB INLET PIT
	STORMWATER PIT
	ELECTRICITY PILLAR
	ELECTRICAL SUBSTATION
E O 3	STREET TREES

× - s	STORMWATER PIPE SEWER JUNCTION SEWER MAIN
NBN	WATER MAIN TELSTRA /NBN UNDER GROUND POWER
	CONTOUR INTERVAL 2.0m

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

(GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE

- (GB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE (GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
- (GD) EASEMENT FOR SERVICES (THE WHOLE LOT)

(GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS

6

ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

DISCLAIMER/ NOTES:

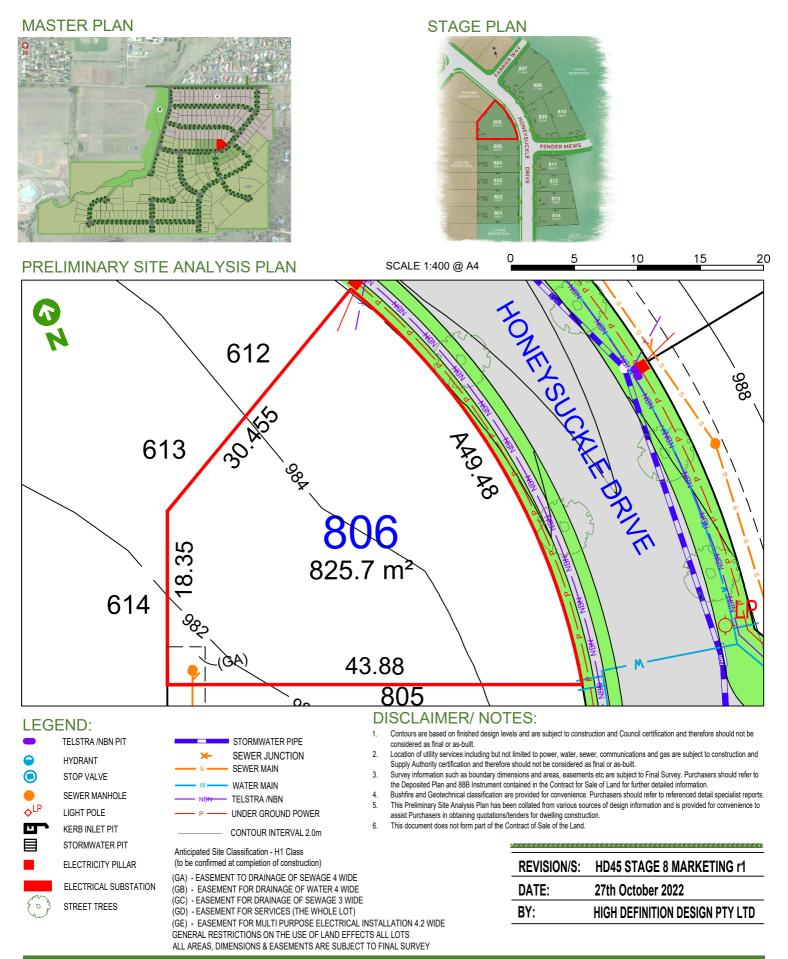
- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- 3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- 5 This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
- assist Purchasers in obtaining quotations/tenders for dwelling construction. This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 8 MARKETING r1
DATE:	27th October 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 806 HONEYSUCKLE DRIVE, ARMIDALE

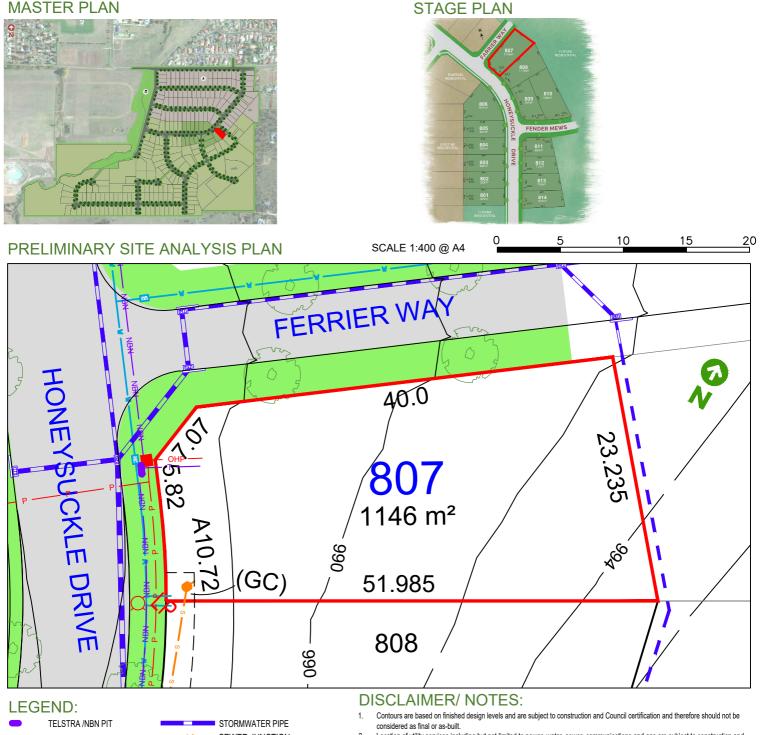




MCCLOVEROUP A QUALITY MCCLOV GROUP PROJECT

LOT 807 HONEYSUCKLE DRIVE, ARMIDALE





- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
 This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
- This document does not form part of the Contract of Sale of the Land.

-

REVISION/S:	HD45 STAGE 8 MARKETING r1
DATE:	27th October 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



SEWER JUNCTION HYDRANT SEWER MAIN STOP VALVE WATER MAIN SEWER MANHOLE **TELSTRA /NBN** 5 LIGHT POLE UNDER GROUND POWER 6 KERB INLET PIT CONTOUR INTERVAL 2.0m STORMWATER PIT Anticipated Site Classification - H1 Class ELECTRICITY PILLAR (to be confirmed at completion of construction) (GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE ELECTRICAL SUBSTATION (GB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE (GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE STREET TREES (GD) - EASEMENT FOR SERVICES (THE WHOLE LOT)

(GD) - EASEMENT FOR SERVICES (THE WHOLE LOT) (GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

cookeshill.com.au

O

ъLР

٠

LOT 808 HONEYSUCKLE DRIVE, ARMIDALE



10

15

<u>2</u>0

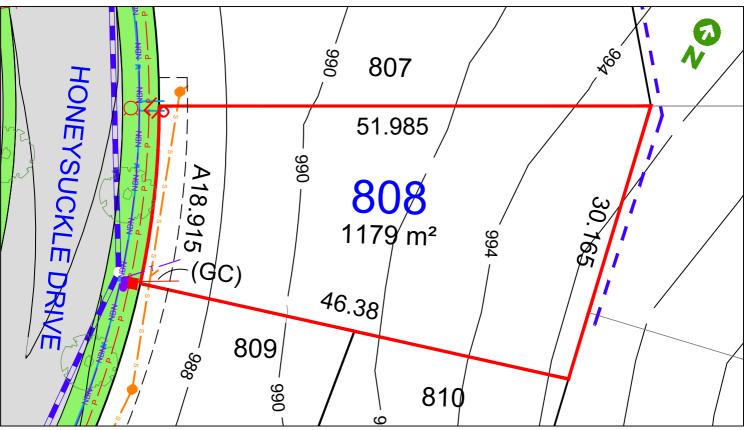
MASTER PLAN



PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN





SCALE 1:400 @ A4

LEGEND:

•	TELSTRA /NBN PIT
Θ	HYDRANT
	STOP VALVE
•	SEWER MANHOLE
ф ^{LP}	LIGHT POLE
	KERB INLET PIT
	STORMWATER PIT
	ELECTRICITY PILLAR
	ELECTRICAL SUBSTATION
Sec. 3	STREET TREES

	STORMWATER PIPE
*	SEWER JUNCTION
S	SEWER MAIN
— w —	- WATER MAIN
NBN	- TELSTRA /NBN
— Р —	- UNDER GROUND POWER
	- CONTOUR INTERVAL 2.0m
	Classification - H1 Class

(GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE

- (GB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE (GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
- (GD) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE (GD) - EASEMENT FOR SERVICES (THE WHOLE LOT)

DISCLAIMER/ NOTES:

- 1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
 Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
 This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in the business and the dualing a construction.
- assist Purchasers in obtaining quotations/tenders for dwelling construction.This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 8 MARKETING r1
DATE:	27th October 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



(GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

LOT 809 HONEYSUCKLE DRIVE, ARMIDALE



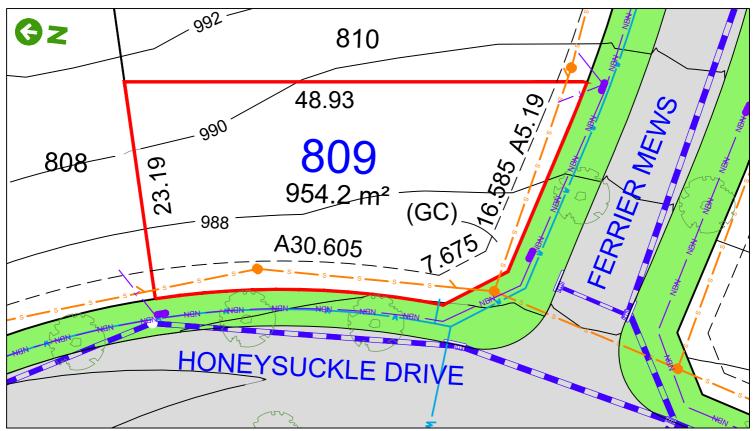
MASTER PLAN



PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN





6

LEGEND:

•	TELSTRA /NBN PIT
0	HYDRANT
	STOP VALVE
•	SEWER MANHOLE
ф ^{LP}	LIGHT POLE
	KERB INLET PIT
	STORMWATER PIT
	ELECTRICITY PILLAR
	ELECTRICAL SUBSTATION
E Cons	STREET TREES

×	STORMWATER PIPE SEWER JUNCTION SEWER MAIN
NB N	WATER MAIN TELSTRA /NBN UNDER GROUND POWER
	CONTOUR INTERVAL 2.0m Classification - H1 Class at completion of construction)
(GB) - EASEME (GC) - EASEMEN	IT TO DRAINAGE OF SEWAGE 4 WIDE NT FOR DRAINAGE OF WATER 4 WIDE IT FOR DRAINAGE OF SEWAGE 3 WIDE IT FOR SERVICES (THE WHOLE LOT)

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to 3 the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5
- assist Purchasers in obtaining quotations/tenders for dwelling construction. This document does not form part of the Contract of Sale of the Land.

REVISION/S :	HD45 STAGE 8 MARKETING r1
DATE:	27th October 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



(GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

LOT 810 FENDER MEWS, ARMIDALE

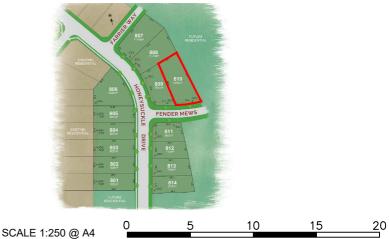


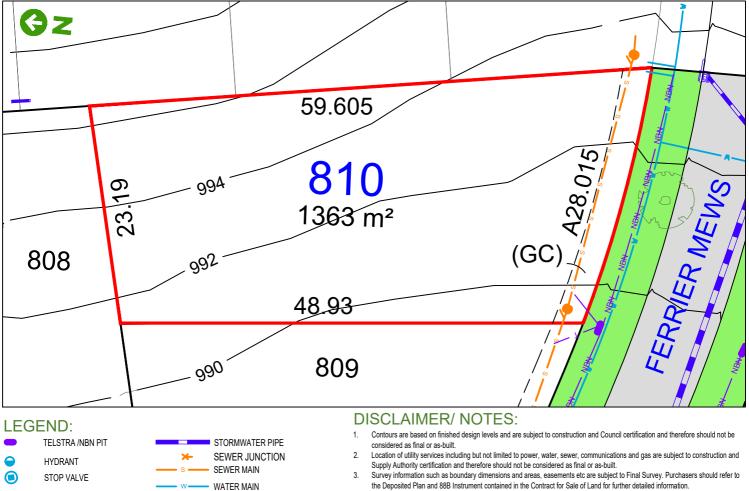
MASTER PLAN



PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN





- the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports
- This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5 assist Purchasers in obtaining quotations/tenders for dwelling construction.
- 6 This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 8 MARKETING r1
DATE:	27th October 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



cookeshill.com.au

TELSTRA /NBN

Anticipated Site Classification - H1 Class

(to be confirmed at completion of construction) (GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE

UNDER GROUND POWER

CONTOUR INTERVAL 2.0m

(GB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE (GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE

(GD) - EASEMENT FOR SERVICES (THE WHOLE LOT)

(GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

SEWER MANHOLE

LIGHT POLE

KERB INLET PIT

STREET TREES

STORMWATER PIT

ELECTRICITY PILLAR

ELECTRICAL SUBSTATION

۰LF

٠

LOT 811 HONEYSUCKLE DRIVE, ARMIDALE



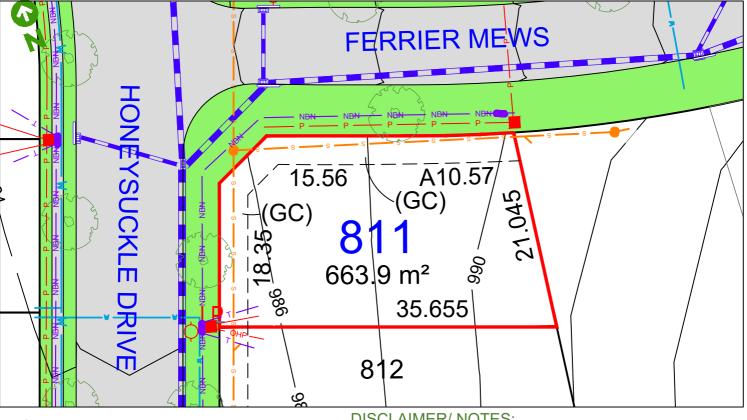
MASTER PLAN



PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN





LEGEND:

•	TELSTRA /NBN PIT	
\bigcirc	HYDRANT	
٢	STOP VALVE	
•	SEWER MANHOLE	
¢ ^{LP}	LIGHT POLE	
	KERB INLET PIT	
	STORMWATER PIT	
	ELECTRICITY PILLAR	
	ELECTRICAL SUBSTATION	
503	STREET TREES	

	STORMWATER PIPE
— s —	SEWER JUNCTION SEWER MAIN
w	WATER MAIN
NBN	TELSTRA /NBN
—— P ——	UNDER GROUND POWER
	CONTOUR INTERVAL 2.0m
	Classification - H1 Class at completion of construction)

ion of construction) (GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE

- (GB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE
- (GC) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
- (GD) EASEMENT FOR SERVICES (THE WHOLE LOT)

(GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

6

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to 3 the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5
- assist Purchasers in obtaining quotations/tenders for dwelling construction. This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 8 MARKETING r1
DATE:	27th October 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



cookeshill.com.au

LOT 812 HONEYSUCKLE DRIVE, ARMIDALE



15

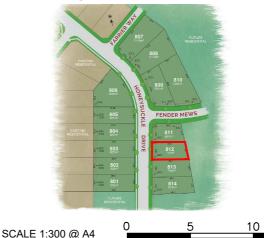
<u>2</u>0

MASTER PLAN

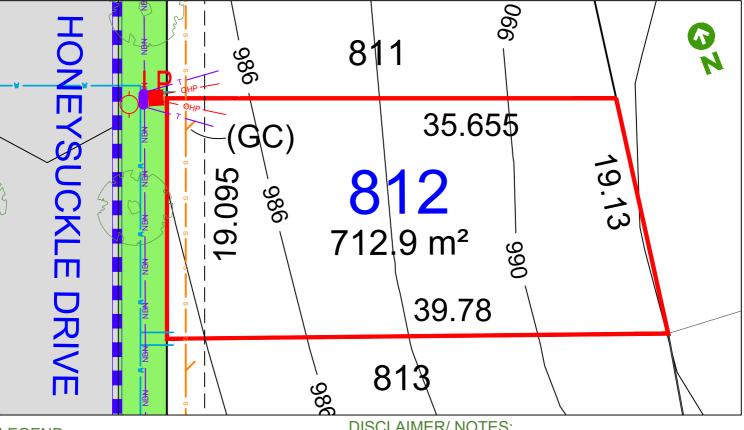


PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN



10



LEGEND:



	STORMWATER PIPE
★	SEWER JUNCTION
— s —	SEWER MAIN
— w—	WATER MAIN
NB N	TELSTRA /NBN
<u> </u>	UNDER GROUND POWER

CONTOUR INTERVAL 2.0m

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

(GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE

- (GB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE (GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
- (GD) EASEMENT FOR SERVICES (THE WHOLE LOT)

(GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS

5

6

ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to 3 the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
- This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 8 MARKETING r1
DATE:	27th October 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 813 HONEYSUCKLE DRIVE, ARMIDALE

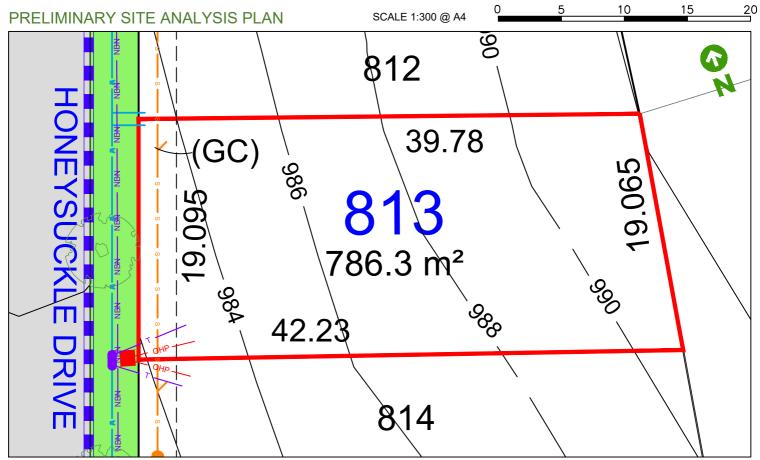






STAGE PLAN





LEGEND:

•	TELSTRA /NBN PIT	
\bigcirc	HYDRANT	
\bigcirc	STOP VALVE	
•	SEWER MANHOLE	
¢ ^{LP}	LIGHT POLE	
	KERB INLET PIT	
	STORMWATER PIT	
	ELECTRICITY PILLAR	
70.	ELECTRICAL SUBSTATION	
803	STREET TREES	

	STORMWATER PIPE
×-	SEWER JUNCTION
 s ——	SEWER MAIN
 w —	WATER MAIN
 NBN	TELSTRA /NBN

UNDER GROUND POWER

CONTOUR INTERVAL 2.0m

Anticipated Site Classification - H1 Class (to be confirmed at completion of construction)

(GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE

- (GB) EASEMENT FOR DRAINAGE OF WATER 4 WIDE (GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
- (GD) EASEMENT FOR SERVICES (THE WHOLE LOT)

(GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS

ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

DISCLAIMER/ NOTES:

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- 3 Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to 5 assist Purchasers in obtaining quotations/tenders for dwelling construction.
- 6 This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 8 MARKETING r1
DATE:	27th October 2022
BY:	HIGH DEFINITION DESIGN PTY LTD



LOT 814 HONEYSUCKLE DRIVE, ARMIDALE

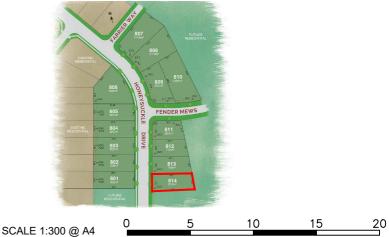


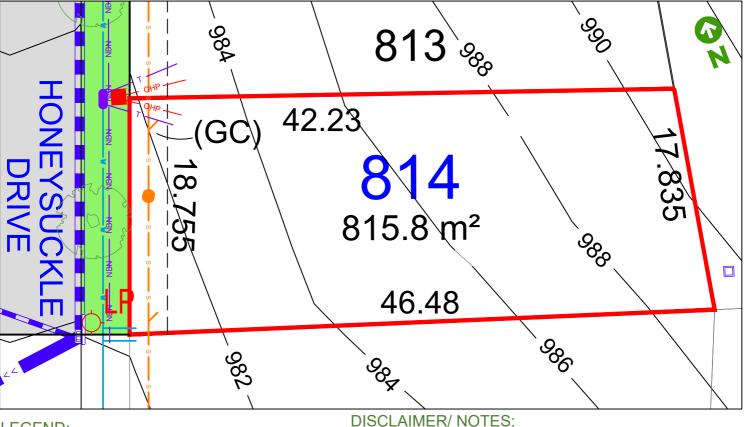
MASTER PLAN



PRELIMINARY SITE ANALYSIS PLAN

STAGE PLAN





LEGEND:

•	TELSTRA /NBN PIT	
•	HYDRANT	
\bigcirc	STOP VALVE	
•	SEWER MANHOLE	
ф ^{LP}	LIGHT POLE	
	KERB INLET PIT	
	STORMWATER PIT	
	ELECTRICITY PILLAR	
	ELECTRICAL SUBSTATION	
Solo S	STREET TREES	

	STORMWATER PIPE
*	SEWER JUNCTION
<u> </u>	SEWER MAIN
w	- WATER MAIN
NBN	- TELSTRA /NBN
— Р —	- UNDER GROUND POWER
	- CONTOUR INTERVAL 2.0m
	Classification - H1 Class

(to be confirmed at completion of construction)

(GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE (GB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE

- (GC) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
- (GD) EASEMENT FOR SERVICES (THE WHOLE LOT)

(GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

- Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be 1. considered as final or as-built.
- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
- 3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
- Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports 5 This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to
- assist Purchasers in obtaining quotations/tenders for dwelling construction. 6 This document does not form part of the Contract of Sale of the Land.

REVISION/S:	HD45 STAGE 8 MARKETING r1
DATE:	27th October 2022
BY:	HIGH DEFINITION DESIGN PTY LTD

