

LOT 801 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

MASTER PLAN



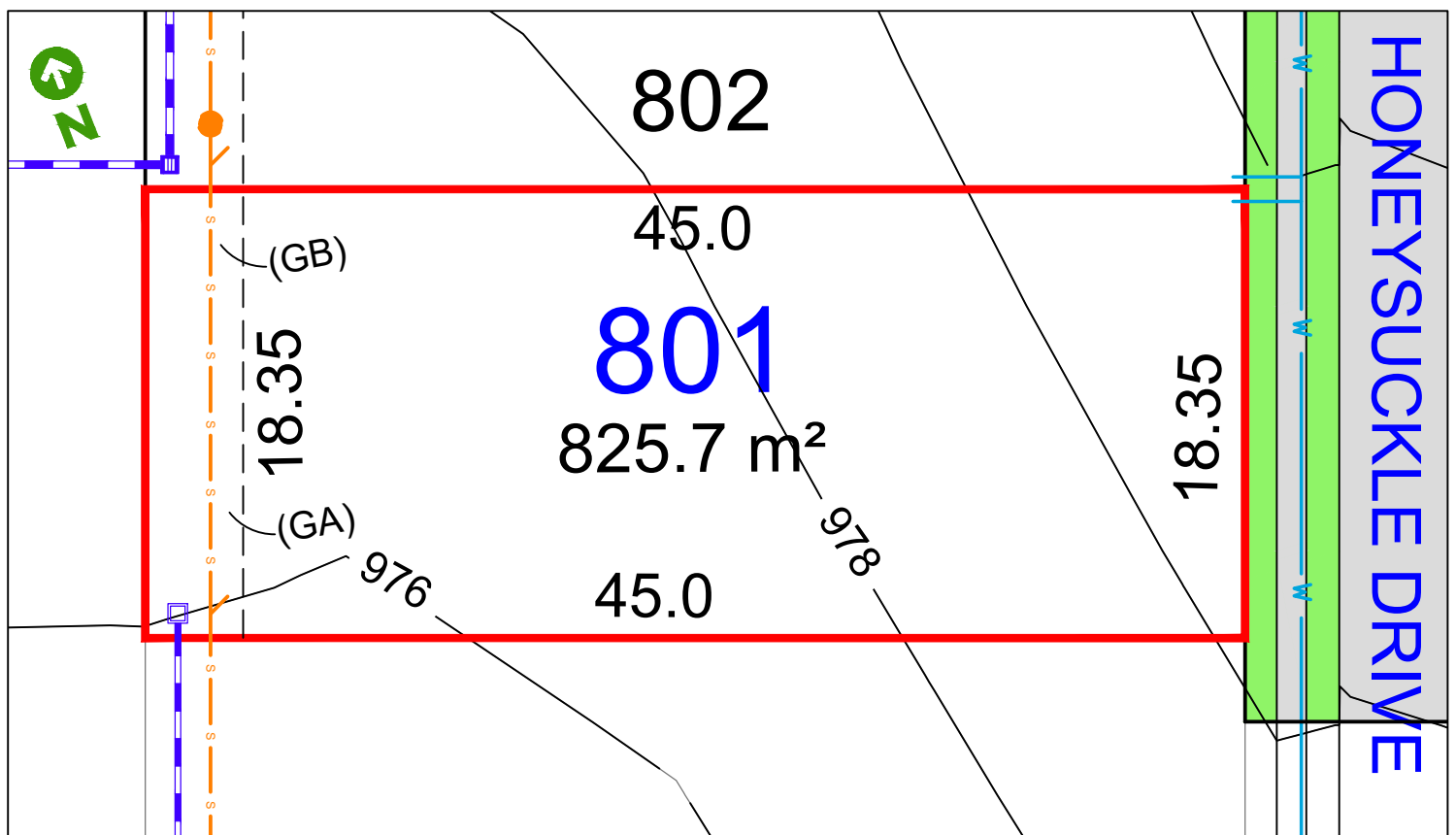
STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4

0 5 10 15 20



LEGEND:

- | | | | |
|--|-----------------------|--|-----------------------|
| | TELSTRA / NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA / NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 2.0m |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE
(GB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
(GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
(GD) - EASEMENT FOR SERVICES (THE WHOLE LOT)
(GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE
GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS
ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

DISCLAIMER/ NOTES:

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5. This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
6. This document does not form part of the Contract of Sale of the Land.

REVISION/S: HD45 STAGE 8 MARKETING r1

DATE: 27th October 2022

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 802 HONEYSUCKLE DRIVE, ARMIDALE

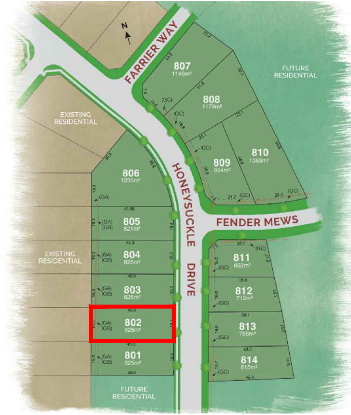


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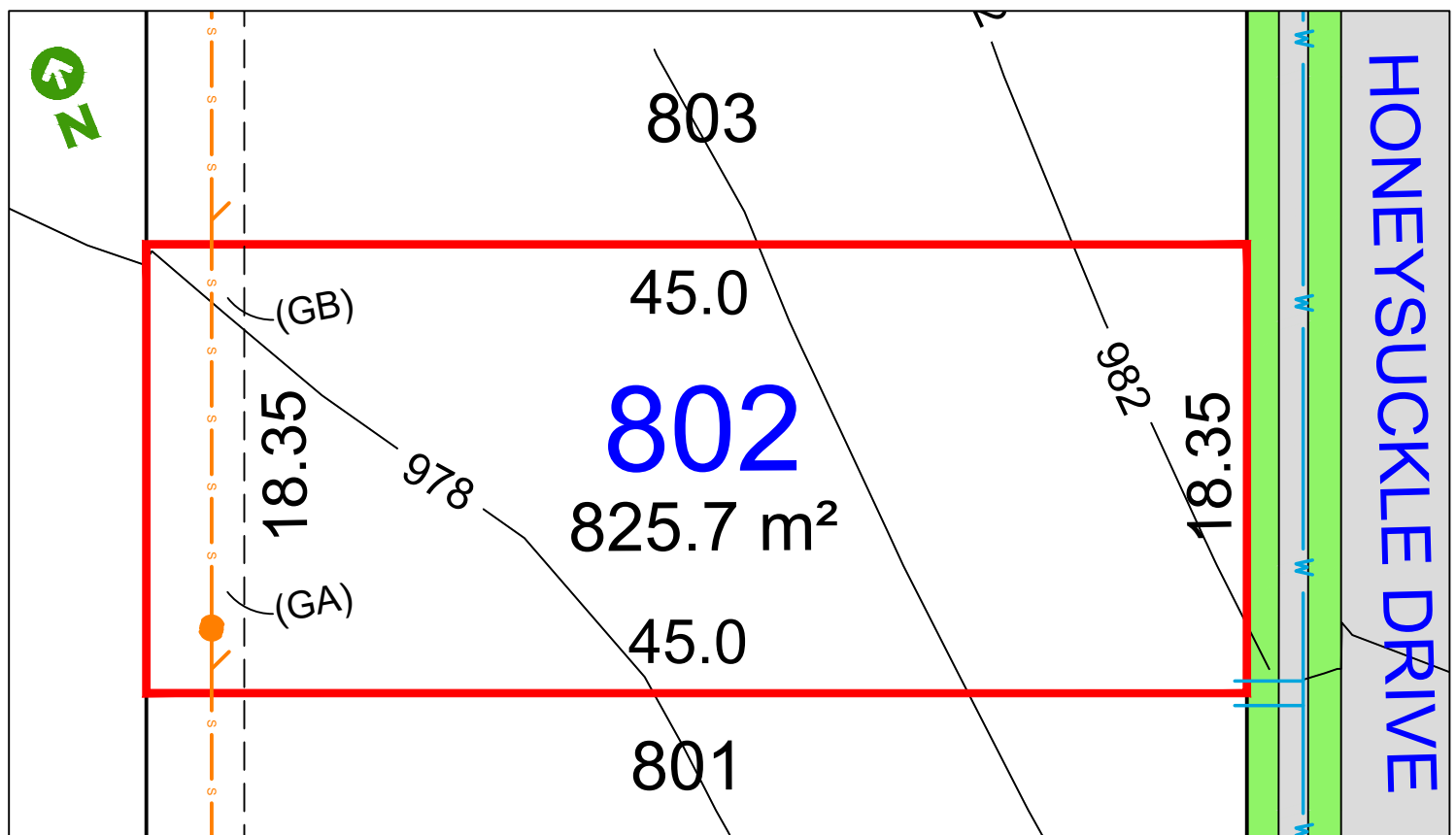
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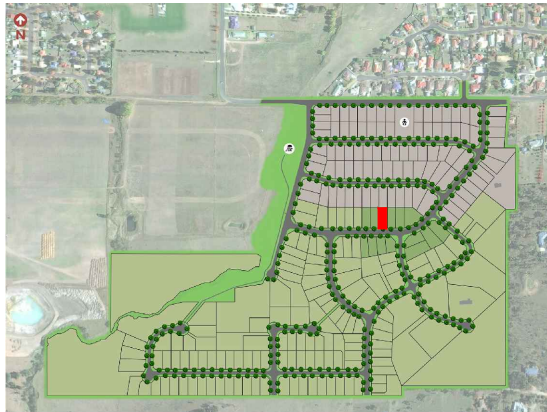
BY: HIGH DEFINITION DESIGN PTY LTD

LOT 803 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

MASTER PLAN



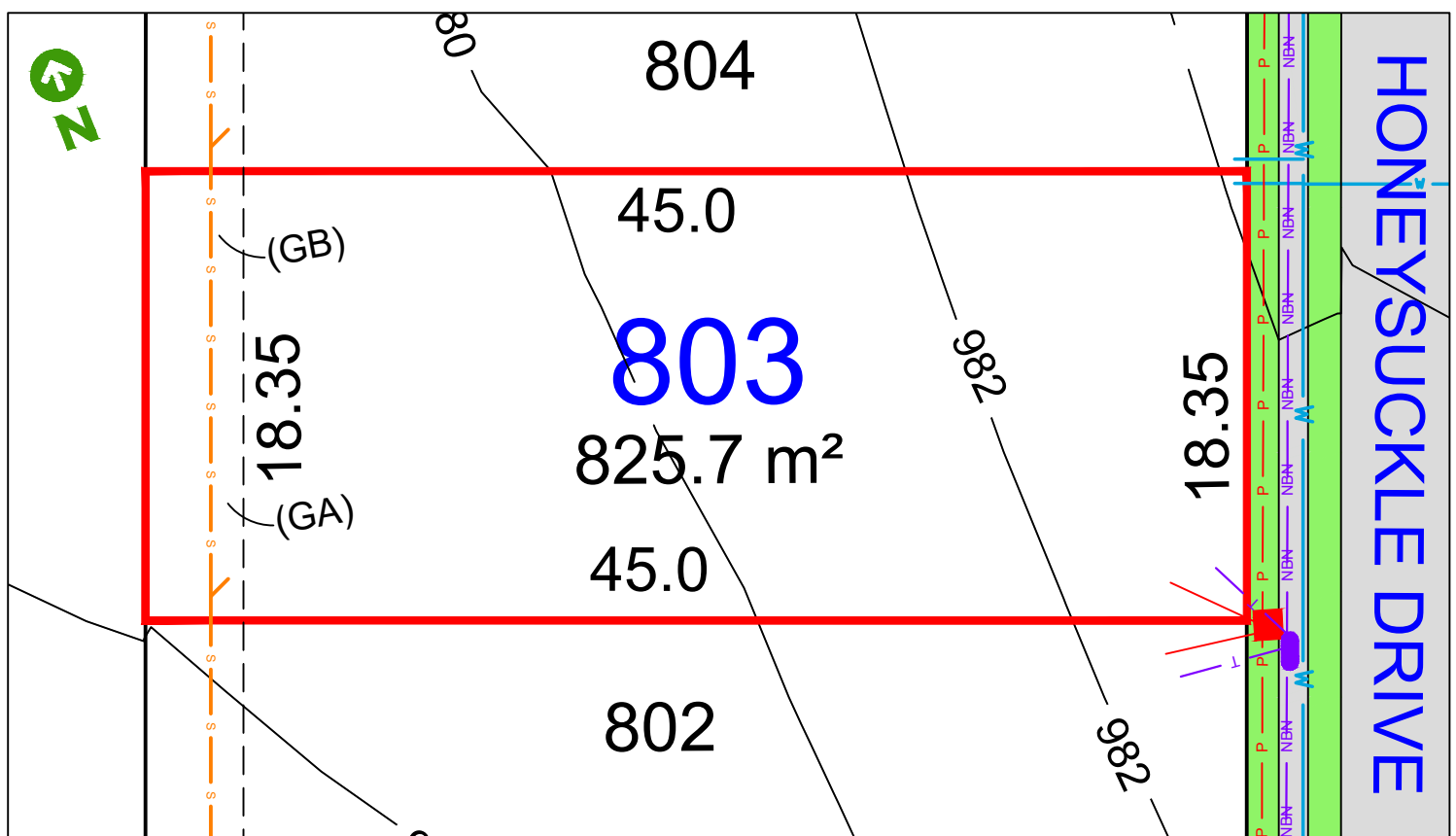
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PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4

0 5 10 15 20



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
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- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER
- CONTOUR INTERVAL 2.0m

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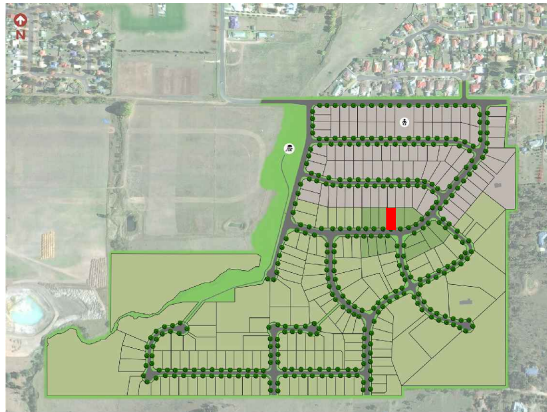
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LOT 801 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

MASTER PLAN



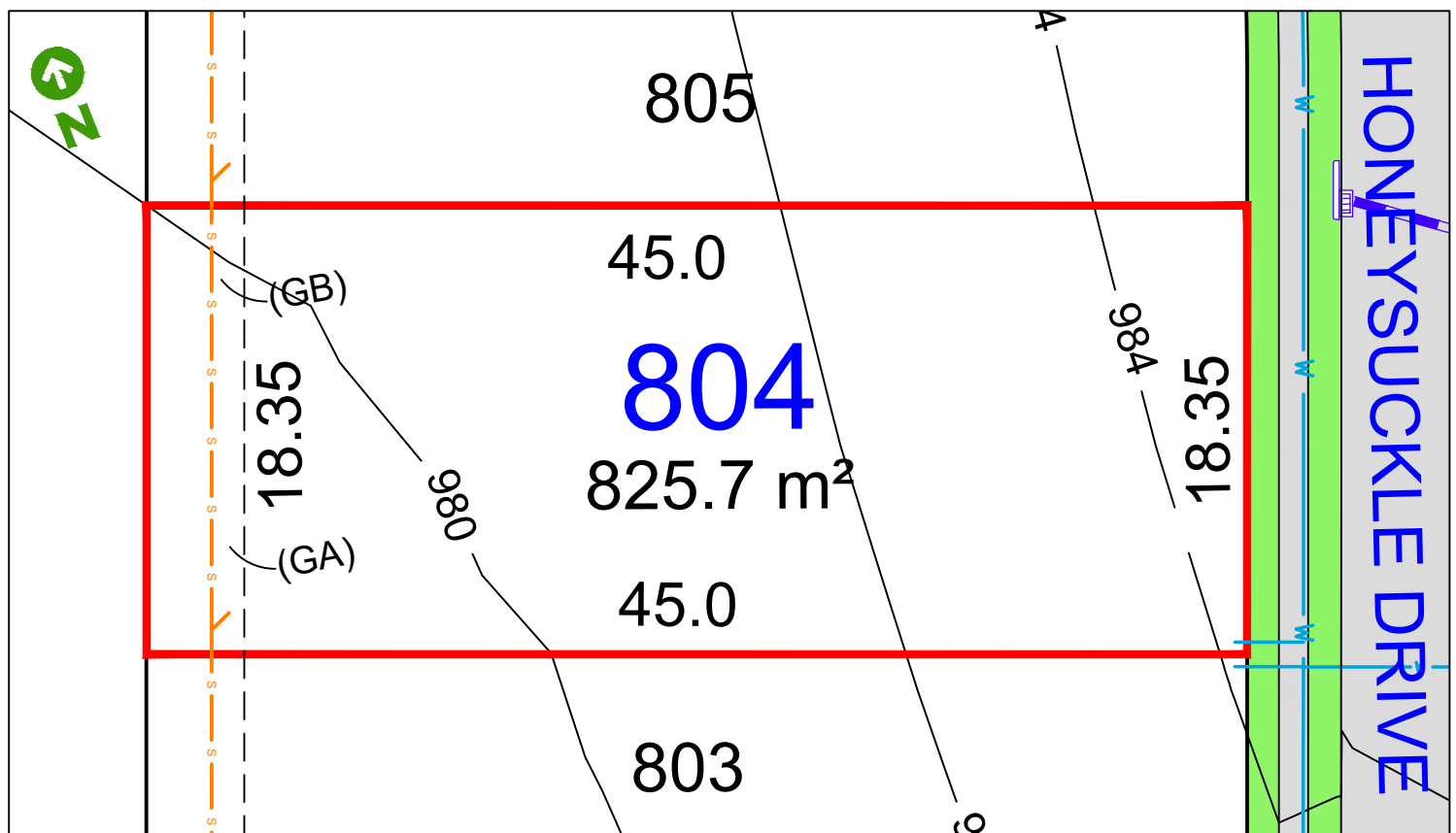
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PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4

0 5 10 15 20



LOT 805 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
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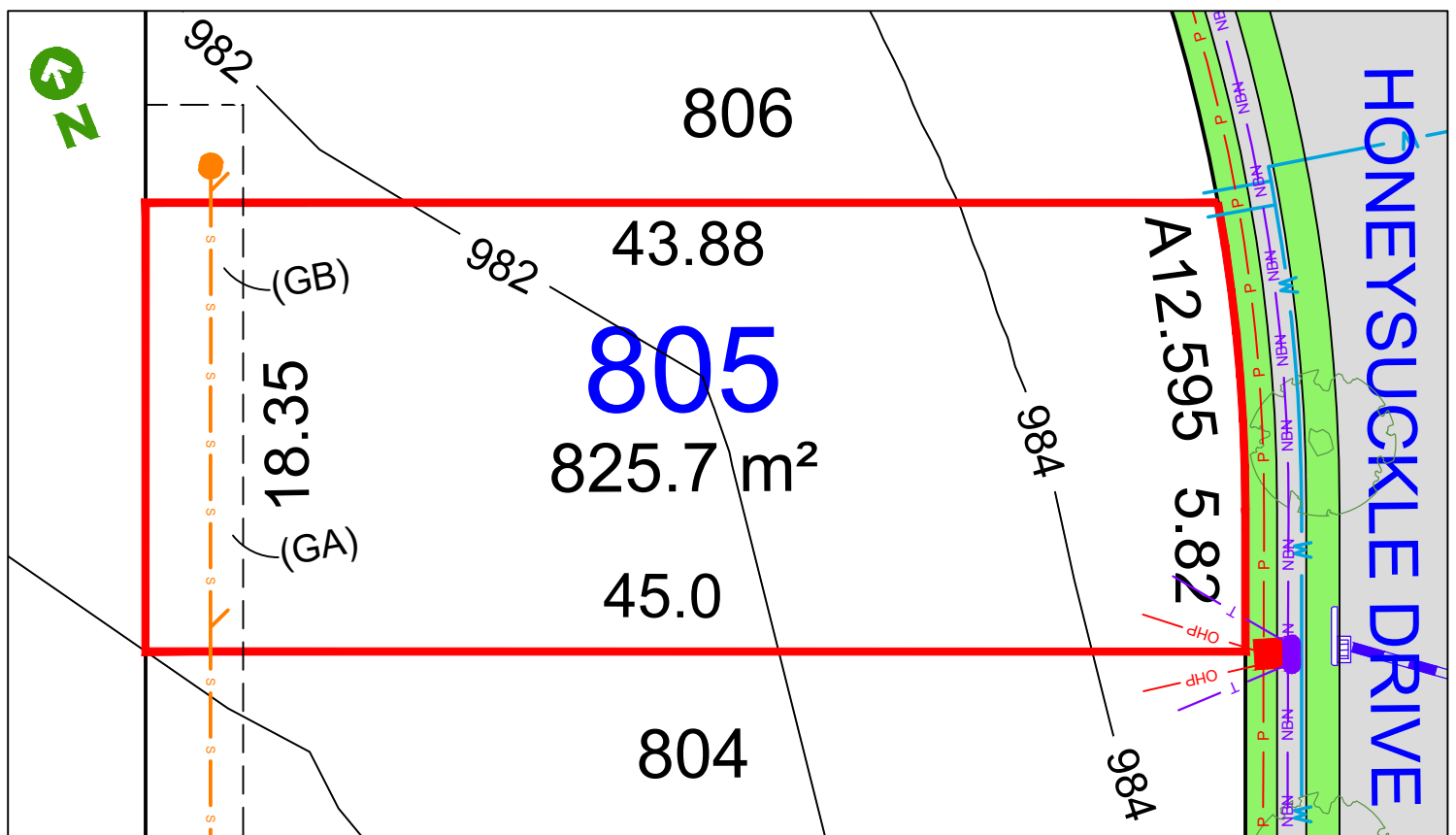
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| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /BNB |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 2.0m |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

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(to be confirmed at completion of construction)

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LOT 806 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
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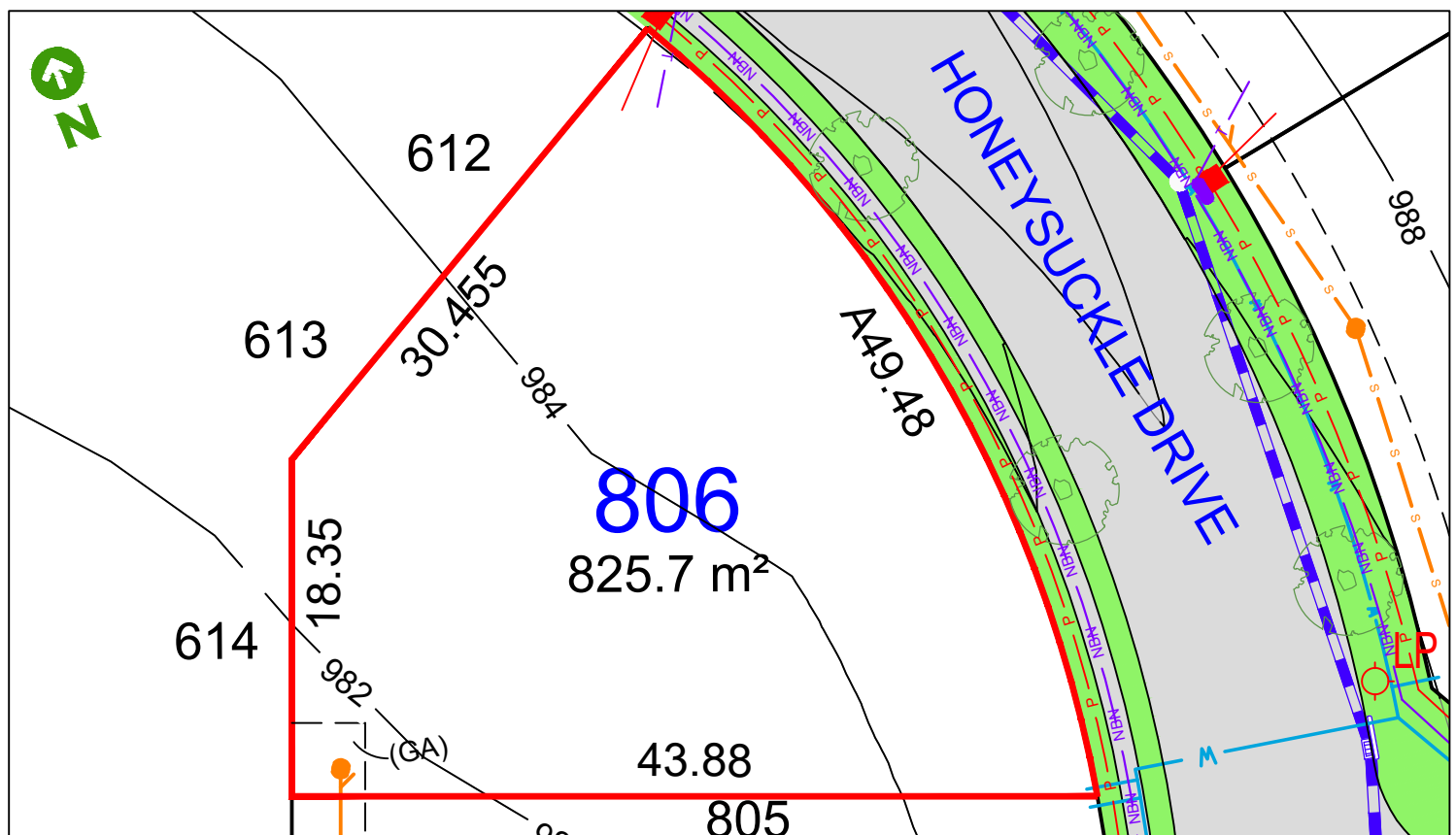
STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:400 @ A4

0 5 10 15 20



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER
- CONTOUR INTERVAL 2.0m

Anticipated Site Classification - H1 Class
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LOT 807 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

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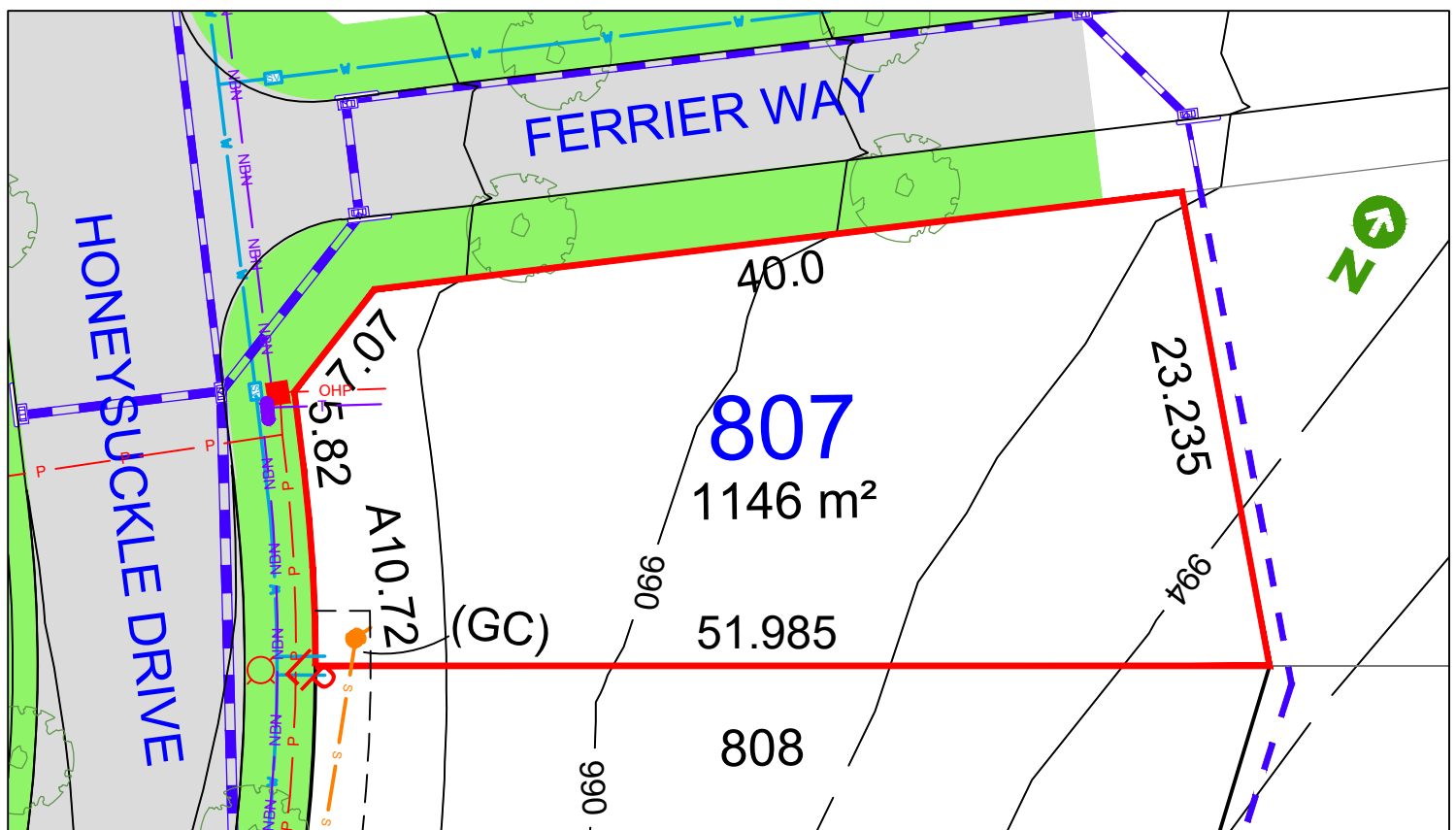
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PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:400 @ A4

0 5 10 15 20



LEGEND:

- | | | | |
|--|-----------------------|--|-----------------------|
| | TELSTRA /NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 2.0m |
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| | ELECTRICAL SUBSTATION | | |
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LOT 808 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

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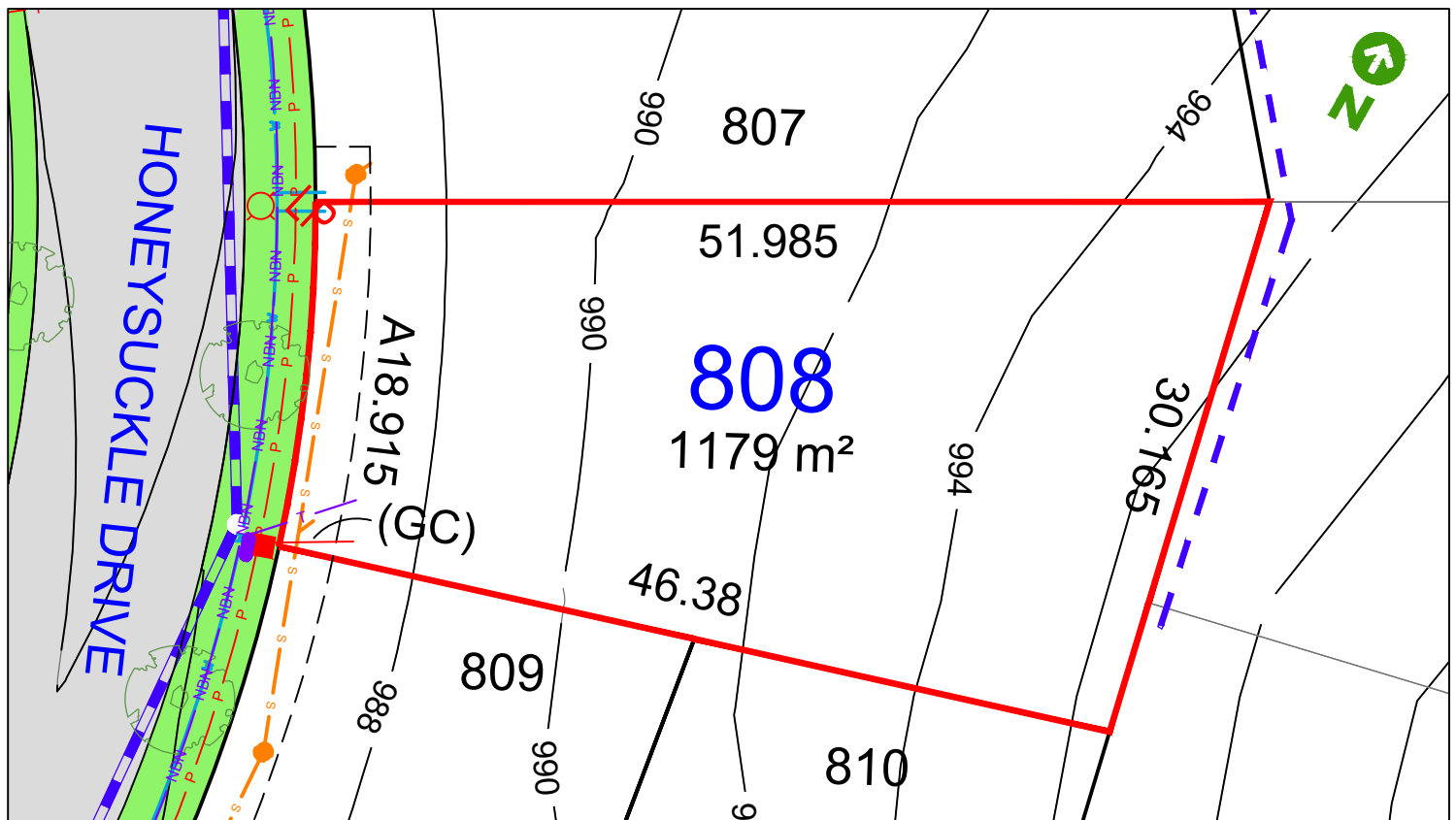
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PRELIMINARY SITE ANALYSIS PLAN

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LOT 809 HONEYSUCKLE DRIVE, ARMIDALE



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HILL
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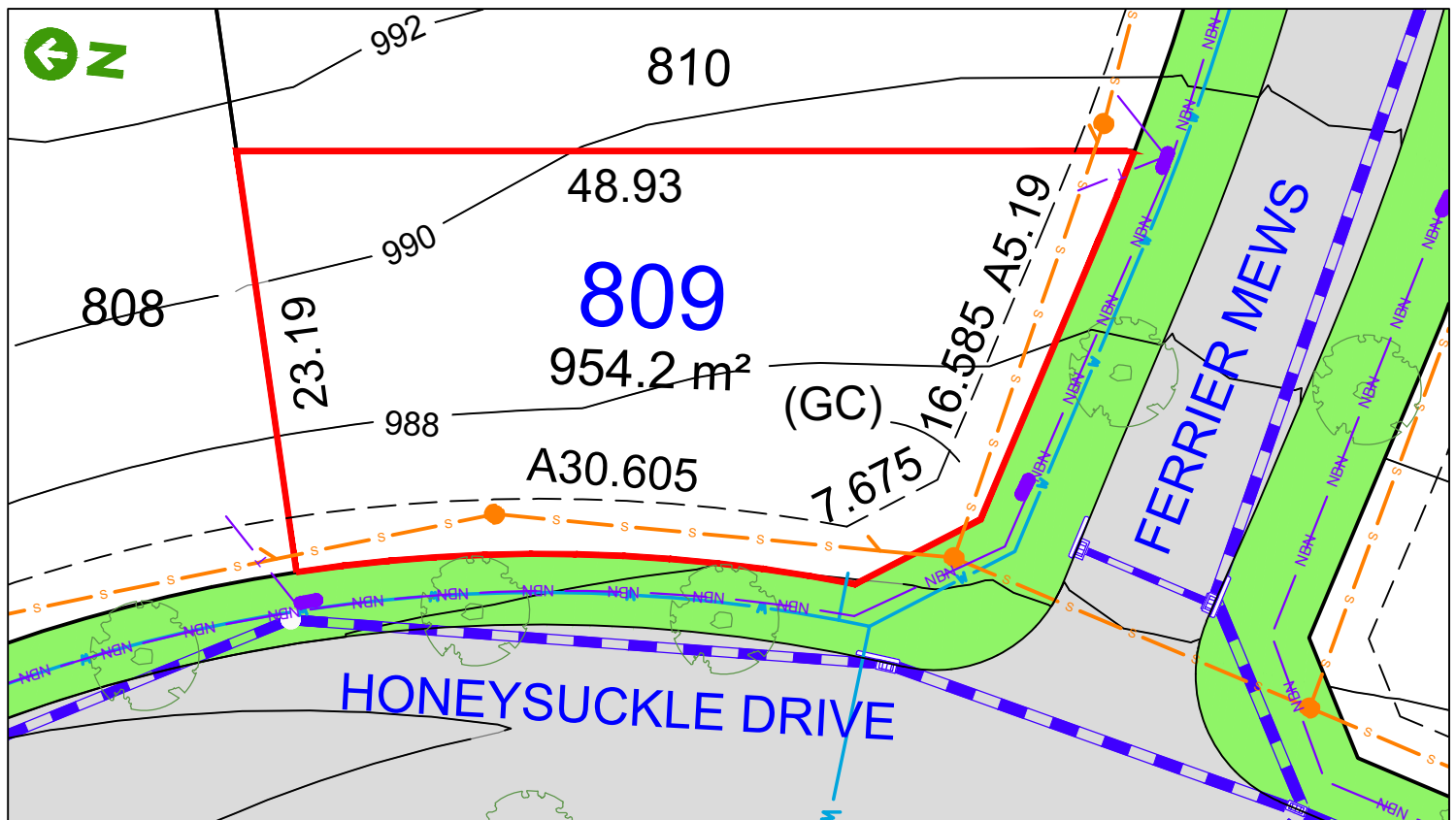
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LOT 810 FENDER MEWS, ARMIDALE



COOKES
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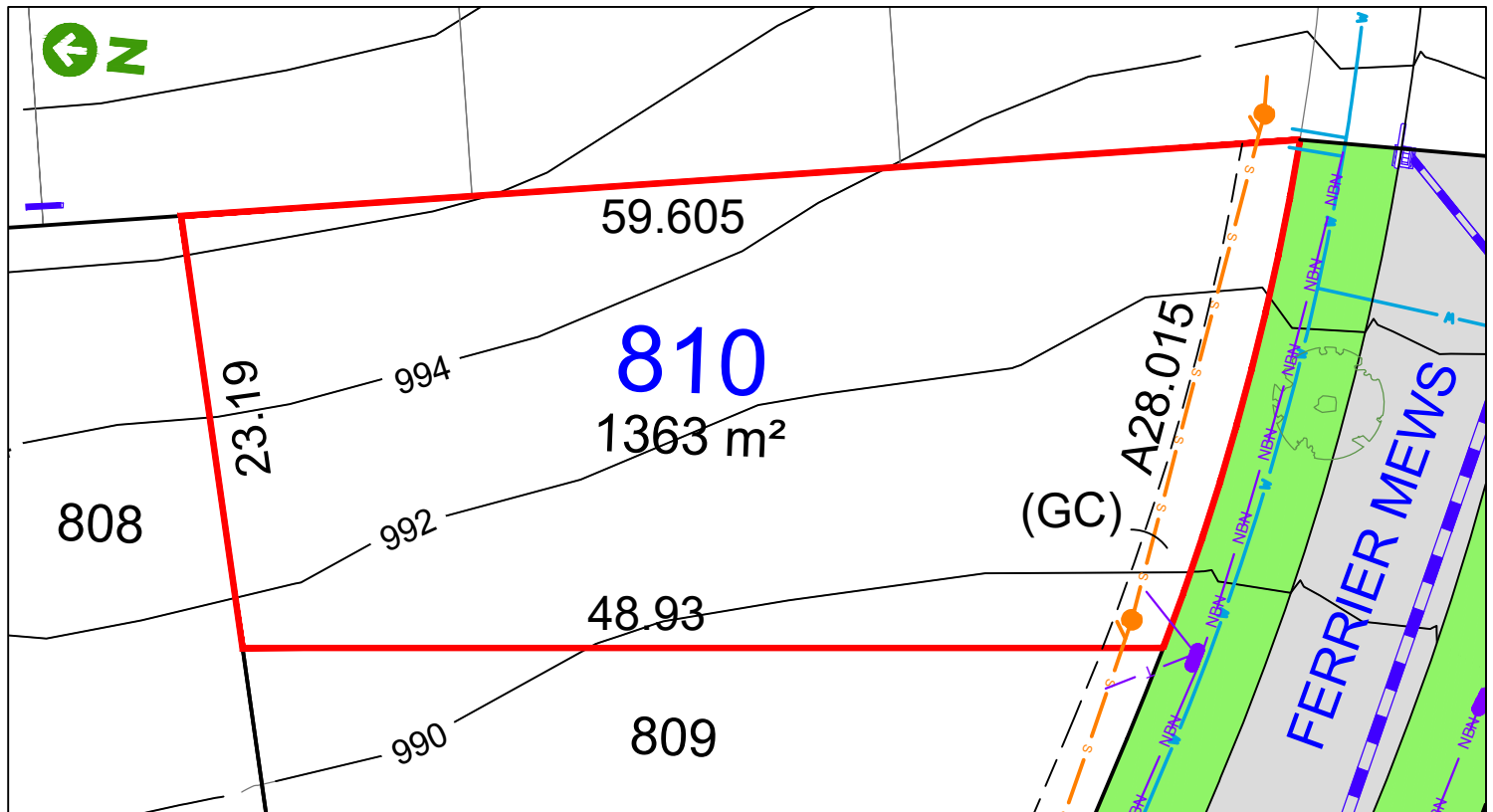
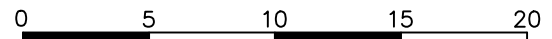


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:250 @ A4



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
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- STORMWATER PIT
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HILL
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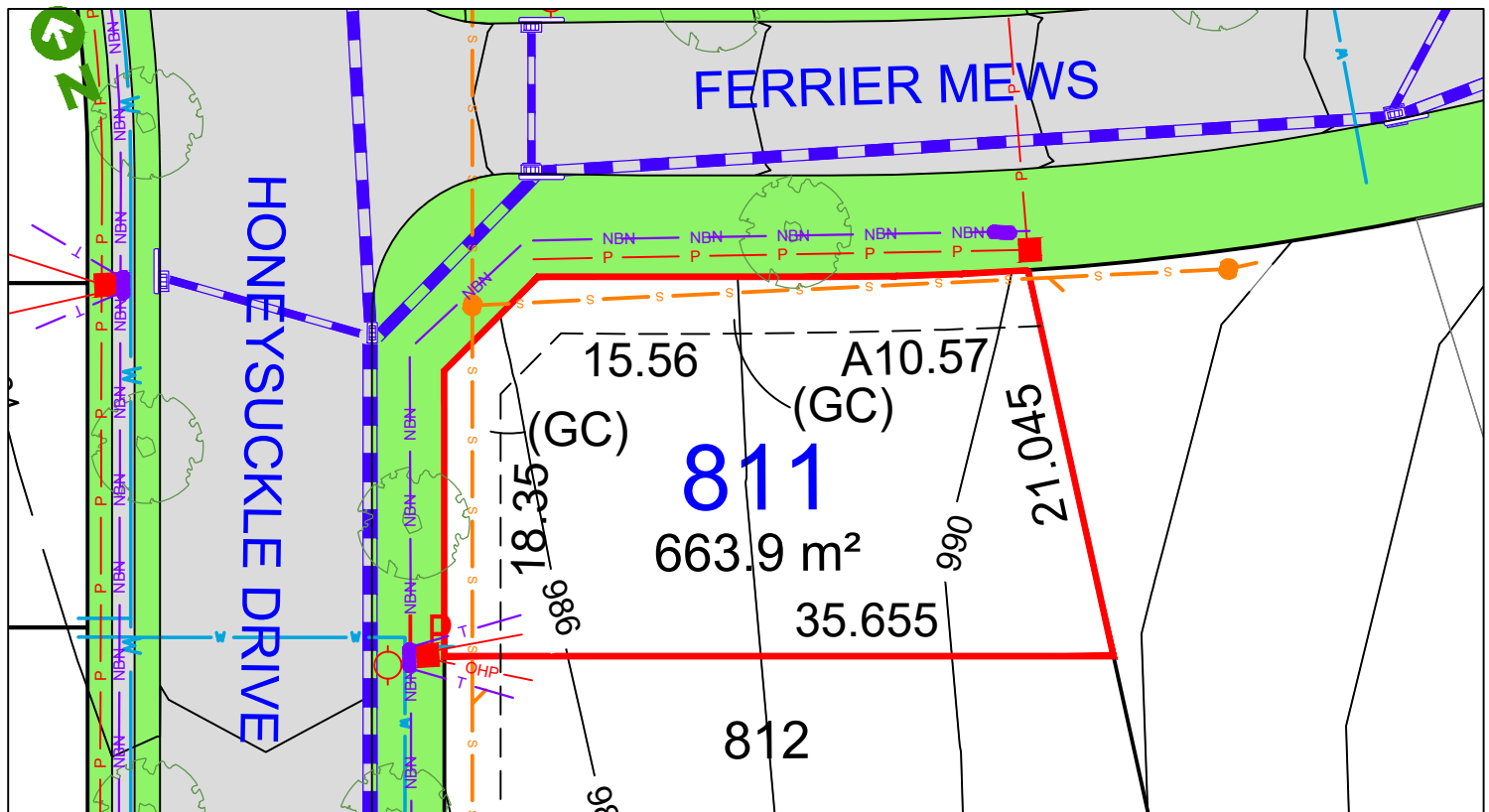
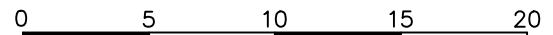


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:250 @ A4



LEGEND:

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- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
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REVISION/S: HD45 STAGE 8 MARKETING r1

DATE: 27th October 2022

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 812 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

MASTER PLAN



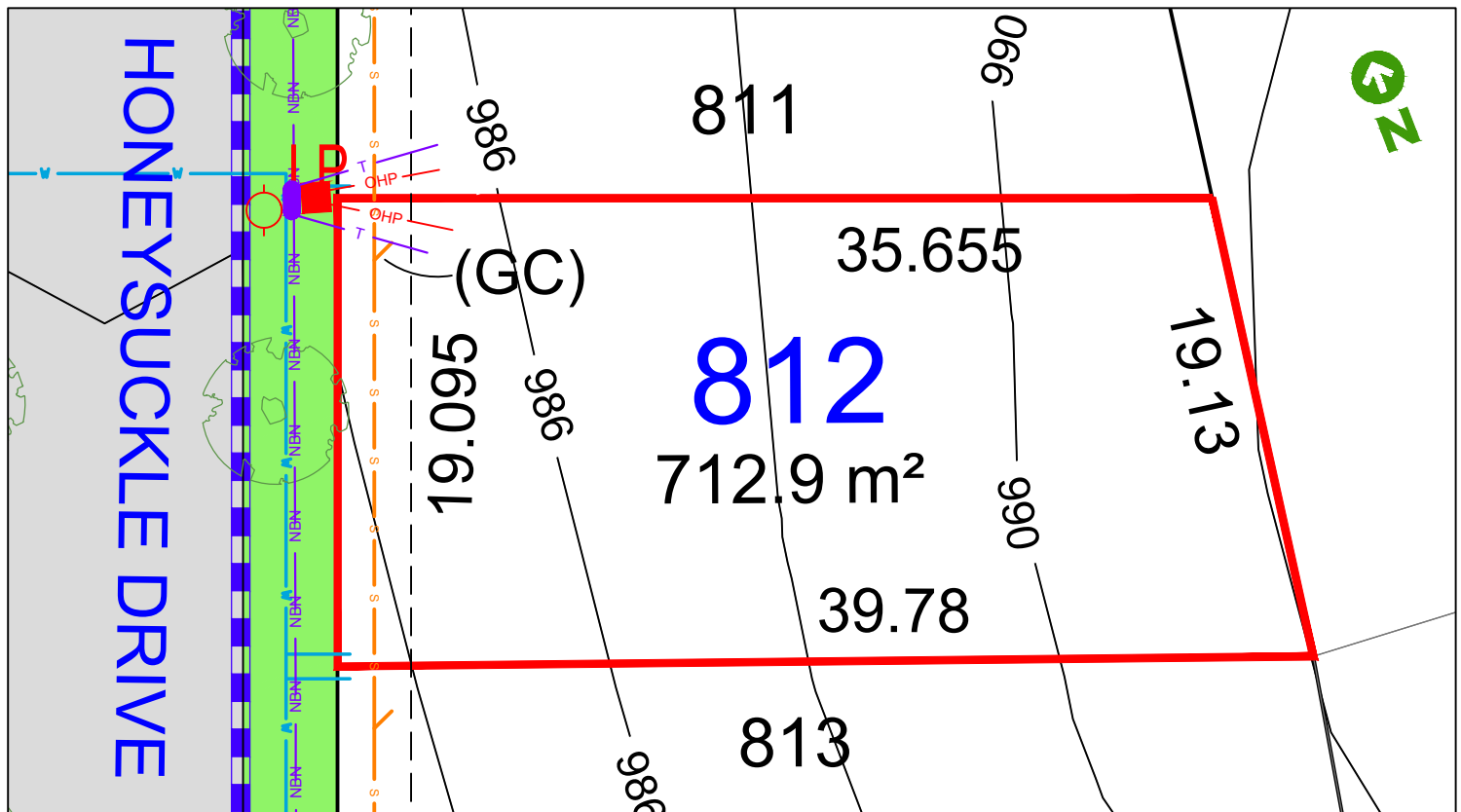
STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4

0 5 10 15 20



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER
- CONTOUR INTERVAL 2.0m

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE
 - (GB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
 - (GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
 - (GD) - EASEMENT FOR SERVICES (THE WHOLE LOT)
 - (GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE
- GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS
ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

DISCLAIMER/ NOTES:

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LOT 813 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

MASTER PLAN



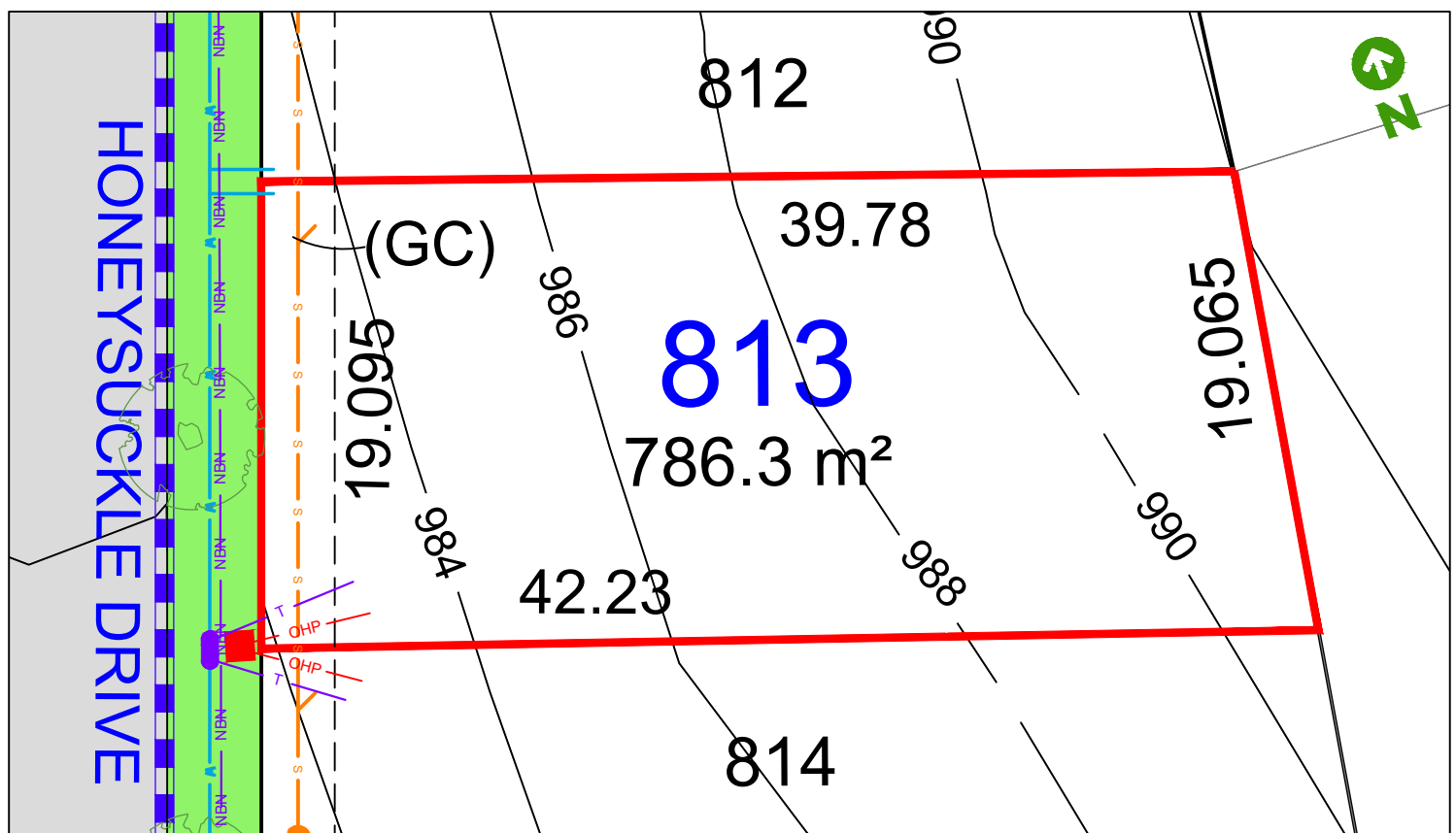
STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4

0 5 10 15 20



LEGEND:

- | | | | |
|--|-----------------------|--|-----------------------|
| | TELSTRA /NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 2.0m |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

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LOT 814 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

MASTER PLAN

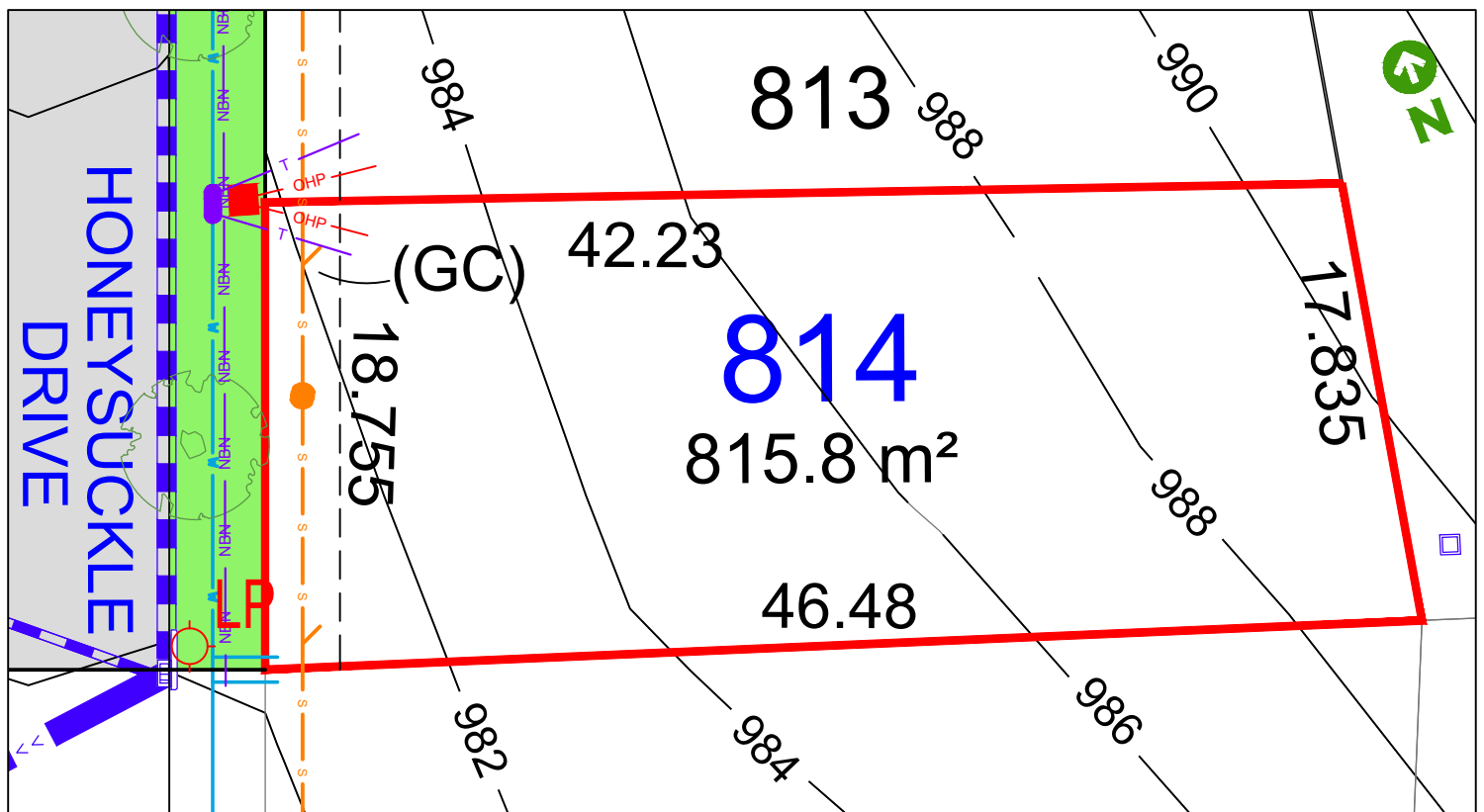
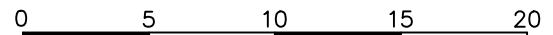


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4



LEGEND:

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| | TELSTRA / NBN PIT | | STORMWATER PIPE |
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