



**BUSHFIRE ATTACK LEVEL**

**FOR**

**FUTURE DWELLINGS**

**AT**

**STAGE 6 COOKES ROAD**

**ARMIDALE NSW 2350**

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### Disclaimer

Notwithstanding the precautions adopted within this report, it should always be remembered that bushfires burn under a wide range of conditions. An element of risk, no matter how small always remains, and although the standard is designed to improve the performance of such buildings, there can be no guarantee, because of the variable nature of bushfires, that any one building will withstand bushfire attack on every occasion.



## Executive Summary

This report provides an assessment of the Bushfire Attack Level (BAL) at Stage 6 within Cookes Road, Armidale in accordance with AS3959 (2018) *Construction of Buildings in Bushfire Prone Areas* Appendix A - Method 1. This report and mapping are not to be used to place wholesale restrictions on lots reflecting the resulting BAL mapping presented within. Future development of surrounding stages may result in lower BALs than detailed in this report.

This BAL report has shown that any future dwellings within the site will be able to meet the requirements of both AS3959-2018 and the PBP 2019 (NSW Rural Fire Service NSW).



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### **Disclaimer:**

*The BALs as depicted within this report and mapping have been determined by management of vegetation to the North, South and East where land will be cleared for future stages. It should be noted that conditions may change over time that may result in different BALs for the lots.*

*Although every care has been taken in the preparation of this BAL Report, McCloy Group and the author accept no responsibility in errors in this report or damaged resulting from the information. It should be noted that upon lodgement of a Development Application (DA) with Council or Rural Fires Service they may recommend additional construction requirements (BALs).*



## Terms & Abbreviations

Abbreviation	Meaning
APZ	Asset Protection Zone
ARC	Armidale Regional Council
AS2419-2017	Australian Standard – Fire Hydrant Installations
AS3959-2018	Australian Standard – Construction of Buildings in Bush Fire Prone Areas
BAL	Bushfire Attack Level
BCA	Building Code of Australia
BPA	Bush Fire Prone Area (Also Bushfire Prone Land)
BPL Map	Bush Fire Prone Land Map
BPMs	Bush Fire Protection Measures
<i>EPA Act</i>	<i>NSW Environmental Planning and Assessment Act 1979</i>
FFDI	Forest Fire Danger Index
FMP	Fuel Management Plan
ha	hectare
IPA	Inner Protection Area
LGA	Local Government Area
OPA	Outer Protection Area
PBP	Planning for Bushfire Protection 2019
RF Act	Rural Fires Act 1997
RF Regulation	Rural Fires Regulation



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# I INTRODUCTION

Firebird ecoSultants Pty Ltd has been engaged by McCloy Group Pty Ltd to undertake a Bushfire Attack Level (BAL) report for Stage 6 within Cookes Road, Armidale hereafter referred to as the “site”. Refer to Appendix A for Sales Plan.

This BAL report assesses the application of Australian Standard AS3959-2018 ‘Construction of Buildings on Bushfire Prone Land’ and Appendix 1 of Planning for Bushfire Protection 2019 (PBP, 2019). AS3959 (2018) Appendix A – Method 1 has been used in this assessment.

This report has been prepared to provide guidance to prospective purchasers of what Bushfire Attack Levels (BALs) may be required for future dwellings within the site.

## I.1 Site Particulars

<b>Locality:</b>	Stage 6, Cooks Road, Armidale NSW
<b>LGA:</b>	Armidale Regional Council (ARC)
<b>Forest Danger Index:</b>	100
<b>Current Land Use:</b>	Approved subdivision



## 2 METHODOLOGY

The Australian Standard for assessing the BAL and providing the detailed requirements for construction has been reviewed and amended with the latest version being adopted for use in bushfire prone areas of NSW in March 2020. This version is titled AS 3959-2018 'Construction of Buildings in Bushfire Prone Areas' (standards Australia 2018, was used in this assessment.

In addition, the NSW method of determining the bushfire attack level, found in Appendix 1 of the document 'Planning for Bushfire Protection 2019' (NSW Rural Fire Service 2019) has also been reviewed and amended to come into line with the process within AS 3959. Therefore, in NSW the methodology with AS 3959 is to be used to determine the bushfire attack level. AS3959 (2018) Appendix A – Method 1 has been used in this BAL assessment.

### 2.1 Vegetation Assessment

Vegetation surveys and vegetation mapping carried out on the site has been undertaken as follows:

- Aerial Photograph Interpretation to map vegetation cover and extent.
- Confirmation of the vegetation assemblage typology present via a site inspection.

### 2.2 Slope Assessment

Slope assessment has been undertaken as follows:

- Aerial Photograph Interpretation in conjunction with analysis of electronic contour maps with a contour interval of 10m.
- On site confirmation of slope measurements.



## 3 SITE ASSESSMENT

A site inspection was undertaken on the site. The following assessment has been undertaken in accordance with the requirements of PBP (RFS, 2019) and AS3959-2018.

### 3.1 Vegetation and Slope Assessment

An assessment of the slope affecting the bushfire behaviour was undertaken for a distance of 100m from the edge of the lot boundaries in the direction of the bushfire hazard. The slopes leading away from the site have been evaluated to identify both the average slope and by identifying the maximum slope present. These values help determine the level of gradient which will most significantly influence the fire behaviour of the site. Refer to Table 1 for Vegetation and Slope Assessment.

**Table 3-1: Vegetation & Slope Assessment**

Direction from Site	Vegetation Classification	Effective Slope
North	Managed Land until development	N/A
East	Managed Land until development	N/A
South	Managed Land until development	N/A
West	Managed Land until development	N/A



## 4 BUSHFIRE ATTACK ASSESSMENT

### 4.1 Bushfire Attack Assessment

To determine the bush fire attack and required Bushfire Attack Level (BAL) for the proposed subdivision the following steps were followed:

1. Determination of the vegetation types within 100m of the site, as assessed in section 3 of this report.
2. Determination of the distance between the vegetation and future dwellings has been assessed in section 4.2 of this report.
3. Determination of the effective slope as assessed in section 3 of this report.
4. A FFDI of 100 was determined for LMCC LGA.

### 4.2 Determination of Bushfire Attack Levels

The results from the above steps were used to calculate the required BAL in accordance with Method 1 of AS 3959 – 2018.

The results from this bush fire attack assessment are detailed below in Table 4-1– Bushfire Attack Level (BAL) Assessment and Figure 4-1 Bushfire Attack Level Map.

**Table 4-1: Bushfire Attack Level Assessment**

Lot Number	Vegetation Type within 100m & Direction from future dwellings	Average Slope of Land (degrees)	Separation Distance from Identified Vegetation	Bushfire Attack Level (BAL)	Construction Section
601	Managed Land until development	N/A	>100m	BAL-LOW	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
602	Managed Land until development	N/A	>100m	BAL-LOW	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
603	Managed Land until development	N/A	>100m	BAL-LOW	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
604	Managed Land until development	N/A	>100m	BAL-LOW	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.

Lot Number	Vegetation Type within 100m & Direction from future dwellings	Average Slope of Land (degrees)	Separation Distance from Identified Vegetation	Bushfire Attack Level (BAL)	Construction Section
605	Managed Land until development	N/A	>100m	BAL-LOW	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
606	Managed Land until development	Upslope	>100m	BAL-LOW	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
607	Woodland Vegetation to the North	Upslope	>74m	BAL-12.5	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
608	Woodland Vegetation to the North	Upslope	>74m	BAL-12.5	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
609	Woodland Vegetation to the North	Upslope	>90m	BAL-12.5	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
610	Woodland Vegetation to the North	Upslope	>100m	BAL-12.5	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
611	Woodland Vegetation to the North	Upslope	>100m	BAL-LOW	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
612	Managed Land until development	N/A	>100m	BAL-LOW	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
613	Managed Land until development	N/A	>100m	BAL-LOW	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
614	Managed Land until development	N/A	>100m	BAL-LOW	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
615	Managed Land until development	N/A	>100m	BAL-LOW	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.
616	Managed Land until development	N/A	>100m	BAL-LOW	Sect 3 & 6 of AS3959 and Sect 7.5 of PBP.



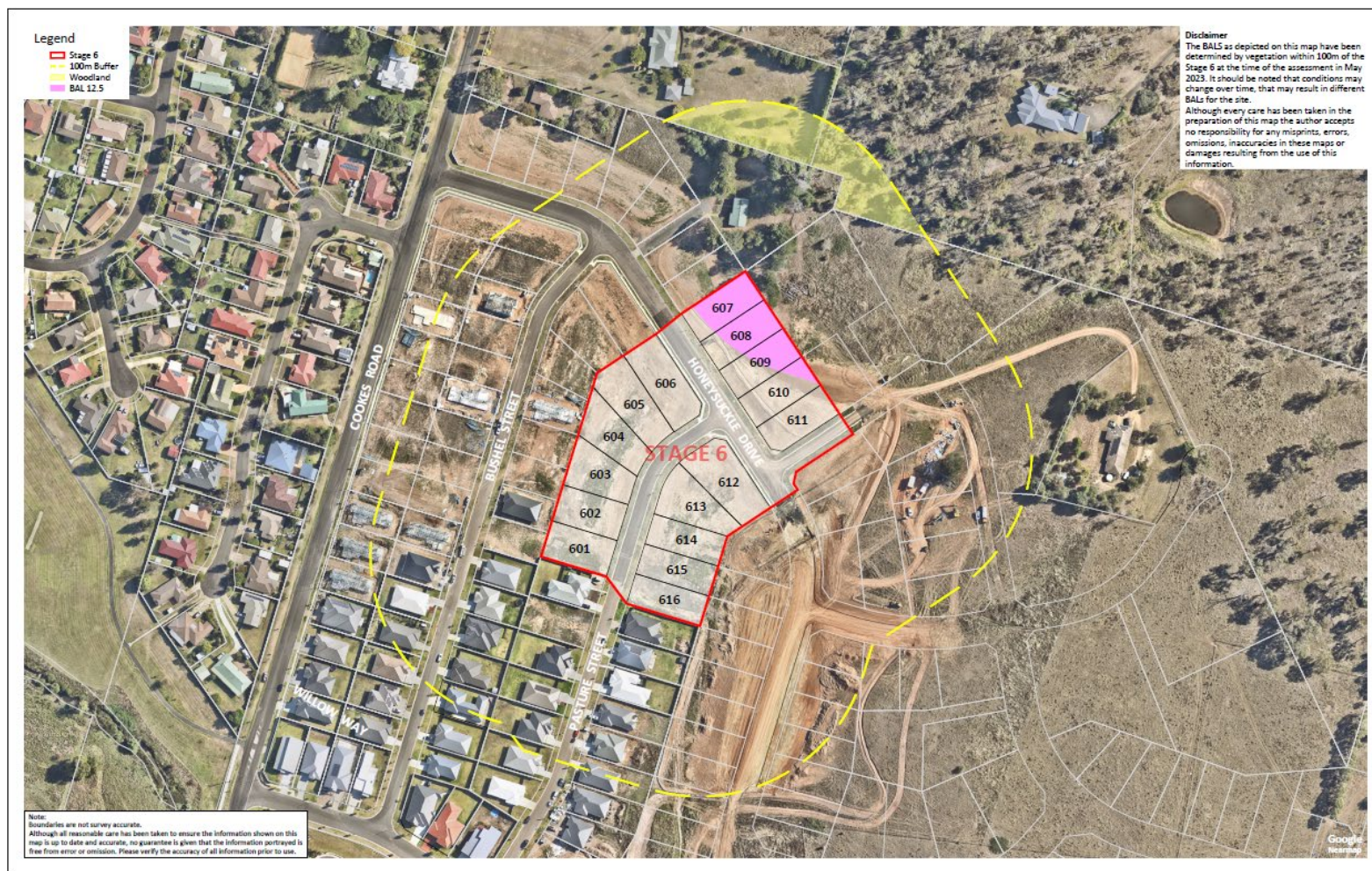
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\*To Note: The construction requirements for the next lower BAL than that determined for the site may be applied to an elevation of the building where the elevation is not exposed to the source of the bushfire attack. An elevation is deemed to be not exposed to the source of bushfire attack if all the straight lines between that elevation and the source of bushfire attack are obstructed by another part of the building. However, this does not apply to BAL-12.5.

The developer will manage the land for a distance of 100m from the Stage 6 Boundary to the East, South and West and 74m to the North until such time the development occurs. Furthermore, an APZ of 14m has been established on the Northern boundary, refer to Appendix A.

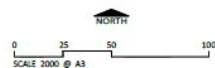


Figure 4-1: BAL Map



FIGURES 5-1: BUSHFIRE ATTACK LEVELS

CLIENT Client  
SITE DETAILS Stage 6 Cookes Road Armidale  
DATE 5 May 2023



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Ref No 3221 Stage 6

## 5 CONCLUSION

This report provides an assessment of the Bushfire Attack Level (BAL) in accordance with AS3959-2018 Construction of Buildings in Bushfire Prone Areas for Stage 6, Cookes Road, Armidale.

This BAL report assesses the application of Australian Standard AS3959-2018 'Construction of Buildings in Bushfire Prone Land' and Appendix 1 of Planning for Bushfire Protection 2019 (PBP, 2019).

This report and mapping are not to be used to place wholesale restrictions on lots reflecting the resulting BAL mapping presented within. Future development of surrounding stages may result in lower BALs than detailed in this report.

This BAL report has shown that any future dwellings within the site will be able to meet the requirements of both AS3959-2018.



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### ***Disclaimer:***

The BALs as depicted within this report and mapping have been determined by vegetation within 100m of Stage 8 at the time of the assessment May 2023. It should be noted that conditions may change over time that may result in different BALs for the lots.



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## 6 BIBLIOGRAPHY

NSW Rural Fire Service (RFS) 2019. Planning for Bushfire Protection: A guide for Councils, Planners, Fire Authorities, Developers and Home Owners. Australian Government Publishing Service, Canberra.

Standards Australia. 2018. Construction of buildings in bushfire-prone Areas, AS3959, Fourth Edition 2018, Standards Australia International Ltd Sydney





## SECT 7.5 PBP 2019 – ADDITIONAL BUILDING REQUIREMENTS

### 7.5 Additional construction requirements

To ensure the performance criteria for construction standards given in section 7.4 can be met, PBP adopts LMCC additional measures over and above AS 3959 and NASH Standard as follows:

- construction measures for ember protection at BAL-12.5 and BAL-19 provided by AS 3959;
- construction measures for development in BAL-FZ; and
- requirements over and above the performance criteria contained within AS 1530.8.1 and AS 1530.8.2 apply in regards to flaming.

#### 7.5.1 Ember protection

Based on the findings from the 2009 Victorian Bush Fires Royal Commission, PBP aims to maintain the safety levels previously provided by AS 3959:1999 in relation to ember protection at lower Bush Fire Attack Levels.

In particular, the areas addressed are in relation to:

- sarking;
- subfloor screening;
- floors;
- verandas, decks, steps, ramps and landings;
- timber support posts and beams; and
- fascias and bargeboards.

#### 7.5.2 NSW State Variations under G5.2(a) (i) and 3.10.5.0(c)(i) of the NCC

Certain provisions of AS 3959 are varied in NSW based on the findings of the Victorian Bush Fires Royal Commission and bush fire industry research.

The following variations to AS 3959 apply in NSW for the purposes of NSW G5.2(a)(i) of Volume One and NSW 3.10.5.0(c)(i) of Volume Two of the NCC;

- clause 3.10 of AS 3959 is deleted and any sarking used for BAL-12.5, BAL-19, BAL-29 or BAL-40 shall:
  - be non-combustible; or
  - comply with AS/NZS 4200.1, be installed on the outside of the frame and have a flammability index of not more than 5 as determined by AS 1530.2; and
- clause 5.2 and 6.2 of AS 3959 is replaced by clause 7.2 of AS 3959, except that any wall enclosing the subfloor space need only comply with the wall requirements for the respective BAL; and
- clause 5.7 and 6.7 of AS 3959 is replaced by clause 7.7 of AS 3959, except that any wall enclosing the subfloor space need only comply with the wall requirements for the respective BAL; and
- fascias and bargeboards, in BAL-40, shall comply with:
  - clause 8.4.1(b) of AS 3959; or



- clause 8.6.6 of AS 3959.

### **7.5.3 Construction in the flame zone**

The flame zone is the area that has significant potential for sustained flame contact during a bush fire. The flame zone is determined by the calculated distance at which the radiant heat of the design fire exceeds 40kW/m<sup>2</sup>.

The NCC references AS 3959 and the NASH Standard. The NSW variation to the NCC excludes both AS 3959 and the NASH Standard as a Deemed to Satisfy solution for buildings that are required to be constructed to BAL-FZ as defined in AS 3959.

Although Chapter 9 of AS 3959 and the NASH Standard has not been adopted, they should still be used as a basis for a performance-based solution demonstrating compliance with the performance

requirements of the NCC and PBP for construction in the flame zone.

All flame zone developments should be sited and designed to minimise the risk of bush fire attack. Buildings should be designed and sited in accordance with appropriate siting and design principles to ensure the safest protection from bush fire impacts.

### **7.5.4 Flaming**

Materials that allow flaming can be problematic and are not supported by the NSW RFS for the following reasons:

- flaming materials increase the exposure of other elements of construction and the adjoining structure to flame contact after a bush fire front has passed; and
- flaming materials will potentially increase the exposure of occupants of the building to radiant heat, direct flame contact, smoke after a bush fire front has passed.

This increase in exposure can contribute to the risk of loss of life and compromise the ability of residents to defend their property and egress from the building once the bush fire front has passed.

In addition, it can reduce the ability of occupants to make safe and effective decisions about their safety.

Where there is potential for materials of construction to ignite as a result of bush fire attack, the proposed building solution generally fails the construction performance criteria for residential infill development.

For development which may be subject to flame contact (BAL-40 and BAL-FZ), systems tested in accordance with AS 1530.8.1 and AS 1530.8.2 respectively will be considered, except that there is to be no flaming of the specimen except for:

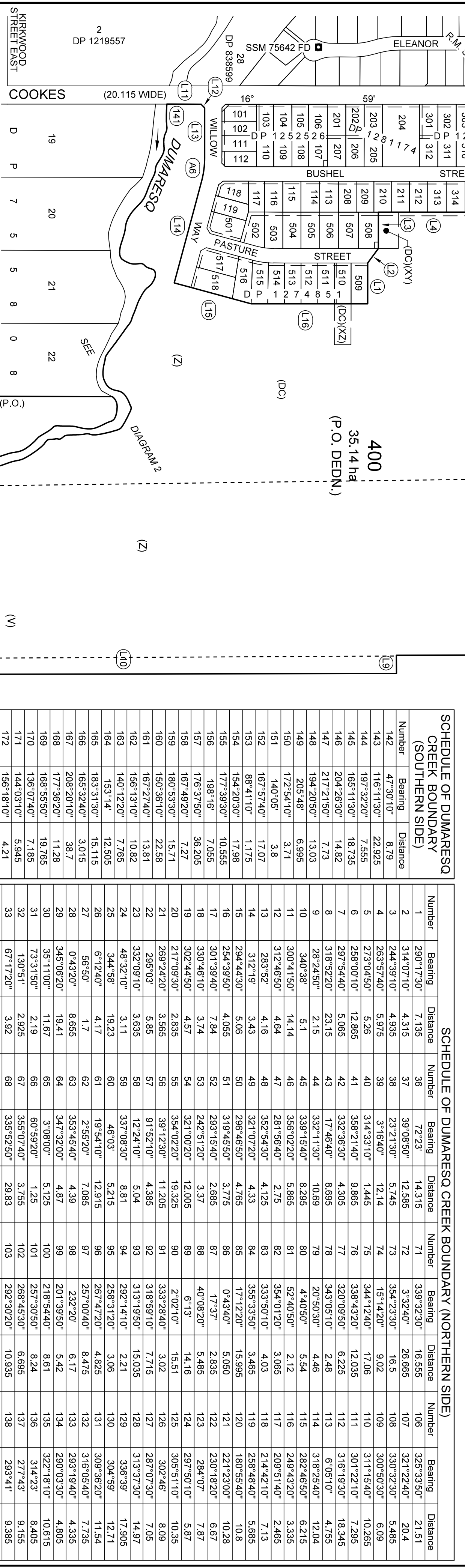
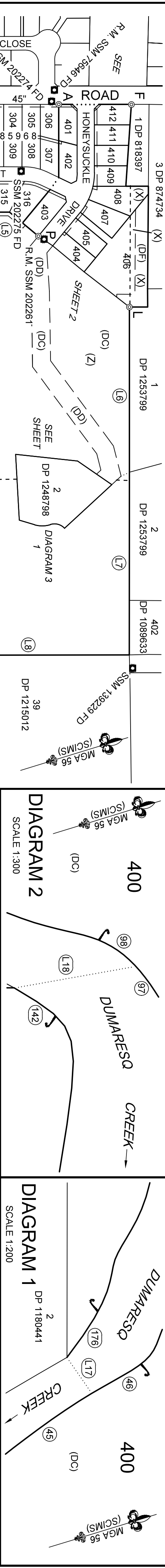
- window frames that have passed the criteria of AS 1530.8.1 and AS 1530.8.2, may be approved provided their flaming is not considered to compromise the safety of other elements of the building; and
- use of other minor elements which allow flaming may be considered provided they do not compromise the integrity of the fire safety of the building (examples include address numbers, house names, decorative artwork, etc).

Flaming of other more significant elements of the building (such as aesthetic wall cladding) is considered to pose an unacceptable risk and will not be supported.





## APPENDIX A      APZ MAP



SCHEDULE OF DUMARESQ CREEK BOUNDARY (SOUTHERN SIDE)				SCHEDULE OF DUMARESQ CREEK BOUNDARY (NORTHERN SIDE)									
Number	Bearing	Distance		Number	Bearing	Distance	Number	Bearing	Distance	Number	Bearing	Distance	
142	47°30'10"	8.79		1	290°17'30"	7.135	36	72°23'	14.315	71	339°32'30"	16.555	
143	116°11'30"	22.925		2	314°07'10"	4.315	37	39°08'50"	12.555	72	3°32'40"	26.665	
144	197°32'20"	7.555		3	244°39'10"	4.935	38	23°21'30"	5.745	73	354°23'30"	16.5	
145	165°11'30"	18.735		4	263°57'40"	5.975	39	3°16'40"	12.14	74	15°14'20"	9.02	
146	204°26'30"	14.82		5	273°04'50"	5.26	40	314°33'10"	1.445	75	344°12'40"	17.06	
147	217°21'50"	7.73		6	258°00'10"	12.865	41	358°21'40"	9.865	76	338°43'20"	12.035	
148	194°20'50"	13.03		7	297°54'40"	5.055	42	332°36'30"	4.305	77	320°09'50"	6.225	
149	205°48'	6.995		8	318°52'20"	23.15	43	17°46'40"	8.695	78	343°05'10"	2.48	
150	172°54'10"	3.71		9	28°24'50"	2.15	44	332°11'30"	10.69	79	20°50'30"	4.46	
151	140°05'	3.8		10	340°38'	5.1	45	339°15'40"	8.295	80	4°40'50"	5.54	
152	167°57'40"	17.07		11	300°41'50"	14.14	46	356°02'20"	5.865	81	52°40'50"	2.12	
153	88°41'10"	1.175		12	312°46'50"	4.64	47	281°56'40"	2.75	82	354°01'20"	3.065	
154	154°20'30"	17.98		13	283°52'	4.16	48	352°54'30"	4.125	83	333°50'10"	4.03	
155	177°39'30"	10.555		14	312°19'	3.43	49	321°07'20"	4.33	84	355°33'50"	3.465	
156	198°16'	7.055		15	294°44'30"	5.06	50	296°46'50"	4.765	85	17°12'20"	15.995	
157	176°37'50"	36.205		16	254°39'50"	4.055	51	319°45'50"	3.775	86	0°43'40"	5.050	
158	167°48'20"	7.27		17	301°39'40"	7.84	52	293°15'40"	2.685	87	17°37'	2.835	
159	180°53'30"	15.71		18	330°46'10"	3.74	53	242°51'20"	3.37	88	40°08'20"	5.485	
160	150°36'10"	22.68		19	302°44'50"	4.57	54	321°00'20"	12.005	89	6°13'	14.16	
161	167°27'40"	13.81		20	217°09'30"	2.835	55	354°02'20"	19.325	90	2°02'10"	15.51	
162	156°11'10"	10.82		21	269°24'20"	3.565	56	39°12'30"	11.205	91	333°28'40"	3.02	
163	140°12'20"	7.765		22	295°03'	5.85	57	91°52'10"	4.385	92	318°59'10"	7.715	
164	153°14'	12.505		23	332°09'10"	3.635	58	12°24'10"	5.04	93	313°19'50"	15.035	
165	183°31'30"	15.115		24	48°32'10"	3.11	59	337°08'30"	8.81	94	292°14'10"	2.21	
166	165°32'40"	3.015		25	344°58'	19.23	60	46°03'	5.215	95	258°31'20"	3.06	
167	208°20'10"	38.7		26	6°12'40"	4.17	61	19°54'10"	12.915	96	267°47'20"	4.825	
168	177°36'20"	11.28		27	56°50"	1.7	62	2°56'20"	7.085	97	257°00'40"	8.475	
169	168°55'50"	19.765		28	0°43'20"	8.655	63	353°45'40"	4.39	98	232°20'	6.17	
170	136°07'40"	7.185		29	345°06'20"	19.41	64	347°32'00"	4.87	99	201°39'50"	5.42	
171	144°03'10"	5.945		30	35°11'00"	11.67	65	3°08'00"	5.125	100	218°54'40"	8.61	
172	156°18'10"	4.21		31	73°31'50"	2.19	66	60°59'20"	1.25	101	257°30'50"	8.24	
173	119°12'10"	9.665		32	130°51'	2.925	67	355°07'40"	3.755	102	268°45'30"	6.655	
174	153°44'10"	4.005		33	67°17'20"	3.92	68	335°52'50"	29.83	103	292°30'20"	10.935	
175	90°01'40"	2.175		34	120°48'50"	2.465	69	3°44'	15.735	104	304°04'	8.29	
176	139°08'30"	5.965		35	81°23'10"	4.65	70	329°56'	19.39	105	261°25'30"	2.23	
				DUMARESQ CREEK BOUNDARY LINES NUMBERED SEQUENTIALLY BETWEEN 1 & 141 ON NORTHERN SIDE AND BETWEEN 142 & 176 ON SOUTHERN SIDE OF THE WATERCOURSE.									
				141	290°17'30"	7.135	142	325°33'50"	21.51	143	321°22'40"	20.4	
				144	330°50'30"	6.09	145	300°50'30"	10.265	146	31°15'40"	7.295	
				147	30°22'10"	18.345	148	316°19'30"	12.04	149	6°05'10"	4.755	
				150	318°25'40"	6.215	151	282°46'50"	2.465	152	209°51'40"	3.335	
				153	249°43'20"	2.665	154	258°48'40"	5.685	155	180°56'40"	10.8	
				157	221°23'00"	10.28	158	230°18'20"	6.67	159	284°07'	7.87	
				161	305°51'10"	10.35	162	302°46'	8.09	163	287°07'30"	7.05	
				164	313°37'30"	14.97	165	313°19'50"	15.035	166	336°39'	17.995	
				167	336°59'	12.71	168	330°42'10"	11.54	169	297°47'20"	7.735	
				170	257°30'50"	8.405	171	218°54'40"	10.615	172	257°30'50"	8.245	
				173	268°45'30"	9.155	174	292°30'20"	9.385	175	293°41'	9.385	
				176	293°41'	7.335	177	293°41'	8.4	178	293°41'	8.4	

BOUNDARY DIMENSIONS ABUTTING DUMARESQ CREEK ARE ALL P.O. IN ACCORDANCE WITH DP1248798. REFER TO SHEET 2 FOR SCHEDULE OF SURVEY MARK CONNECTIONS AND ARCS NUMBERED 6, 7 & 8

(P1) P.O. IN ACCORDANCE WITH DP1248798 (P4) P.O. IN ACCORDANCE WITH DP1285968 (P2) P.O. IN ACCORDANCE WITH DP1252526 (P5) P.O. IN ACCORDANCE WITH DP1274851 (P3) P.O. IN ACCORDANCE WITH DP1281174

SCHEDULE OF BOUNDARIES & CONNECTIONS					
NO.	BEARING	DISTANCE	NO.	BEARING	DISTANCE
L1	287° 00' 10"	45.0 (P5)	L14	122° 00' 10"	115.87 (P2 & P5)
L2	323° 13'	19.83 (P5)	L15	32° 09'	87.67 (P5)
L3	287° 00' 10"	40.0 (P5)	L16	17° 00' 10"	128.45 (P5)
L4	17° 00' 10"	112.55 (P3, P4 & P5)	L17	252° 11' 40"	2.805 (P1)
L5	56° 33' 10"	18.65 (P4)	L18	196° 55' 40"	11.255 (P1)
L6	106° 58' 15"	181.95 (P1)	L19	213° 30' 20"	72.405 (P1)
L7	107° 01' 15"	201.26 (P1)	L20	283° 47' 10"	17.504 (P1)
L8	196° 51' 55"	225.0 (P1)	L21	23° 07' 20"	68.84 (P1)
L9	106° 51' 55"	20.115 (P1)	L22	51° 31' 30"	45.88 (P1)
L10	196° 51' 55"	785.61 (P1)	L23	154° 23' 30"	71.0 (P1)
L11	16° 59' 45"	37.67 (P2)	L24	171° 49' 10"	10.16 (P1)
L12	62° 00'	5.655 (P2)	L25	154° 23' 30"	13.975 (P1)
L13	107° 00' 10"	55.21 (P2)			

SCHEDULE OF SURVEY MARKS					
MARK	MGA CO-ORDINATES			METHOD /	
	EASTING	NORTHING	CLASS	PU	VALIDATION
SSM 75642	373 970.042	6 623 788.333	A	0.02	SCIMS
SSM 75646	374 081.870	6 623 986.537	B	0.02	SCIMS
SSM 139229	374 716.160	6 623 883.259	C	0.03	SCIMS
SSM 202261	374 232.8	6 623 924.0	U	N/A	TRAV.
SSM 202274	374 095.3	6 623 985.7	U	N/A	TRAV.
SSM 202275	374 156.5	6 623 928.2	U	N/A	TRAV.

F	76° 07'	3.14	SSM 202274 FD (DP 1285968)
F	191° 48' 45"	0.475	G.I.P. FD (DP 818397)
L	256° 07' 45"	0.807	G.I.P. FD (DP 818397)
P	222° 20'	3.915	SSM 202261

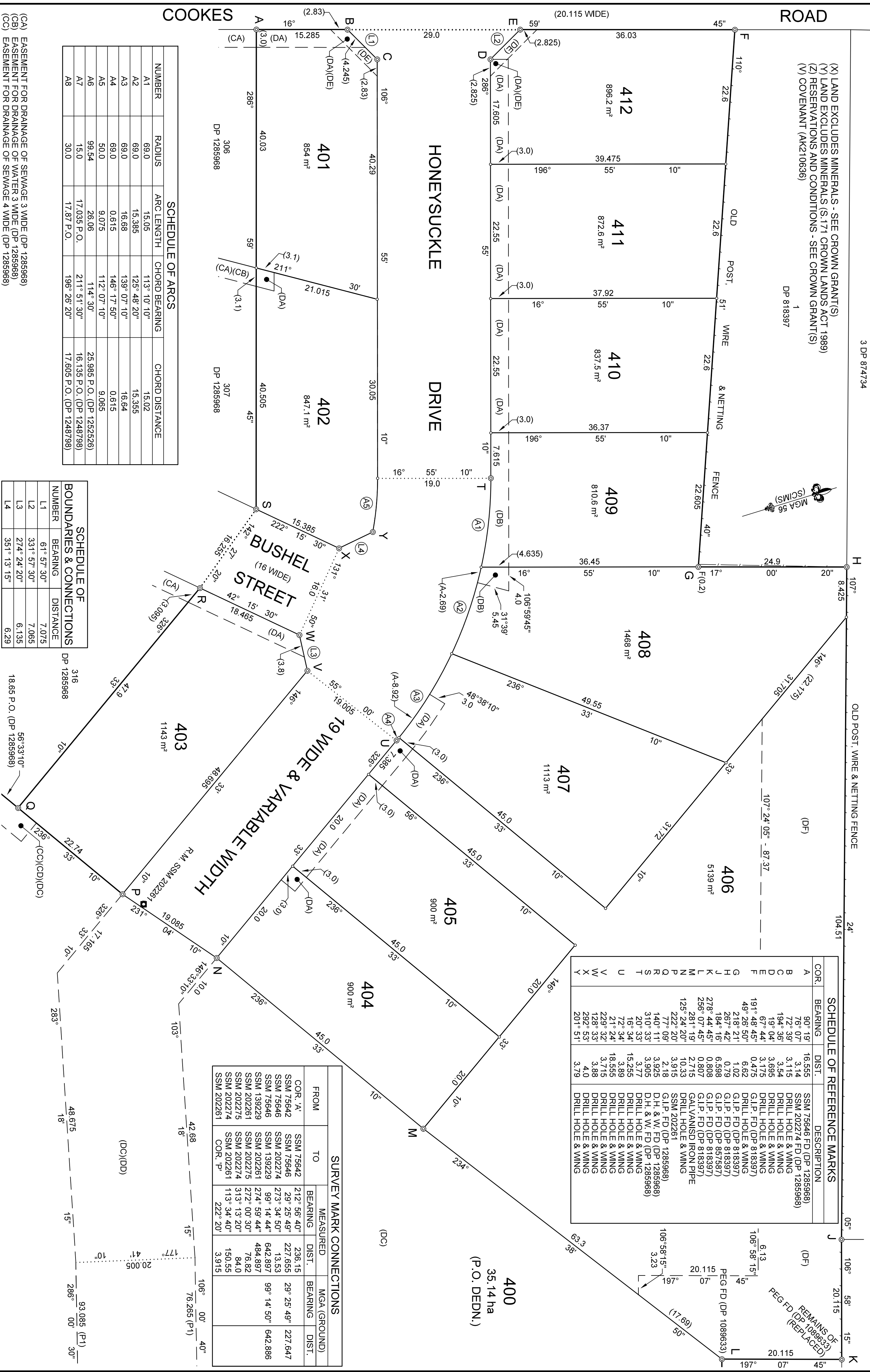
DATE OF SCIMS COORDINATES: 20th October, 2022

DATUM: GDA2020

COMBINED SCALE FACTOR: 0.999638

MGA ZONE: 56

DATUM LINE: SSM 75642 - SSM 75646 (DC) EASEMENT FOR SERVICES (THE WHOLE OF THE LOT) (DD) RIGHT OF ACCESS 19 WIDE & 20 WIDE (DP) POSITIVE COVENANT 14 WIDE (P.O.) ORIGINAL DIMENSION BY DP 1248798 OR BY DP 1252526 WHERE SO DESCRIBED (XY) AREA BENEFITED BY EASEMENT FOR DRAINAGE OF WATER 4 WIDE (DP1274851) (XZ) AREA BENEFITED BY EASEMENT FOR DRAINAGE OF WATER 2 WIDE (DP1274851)	Surveyor : Rowan Leonard Donnelly Date of Survey : 11th November 2022 Surveyor's Ref : 20160610_4	PLAN OF SUBDIVISION OF LOT 300 IN DP 1285968	LGA: ARMIDALE REGIONAL Locality : ARMIDALE Subdivision No: SC-26-2022 Lengths are in metres. Reduction Ratio: 1:3,000	Registered 03/02/2023	DP1291144
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SCHEDULE OF ARCS			
NUMBER	RADIUS	ARC LENGTH	CHORD BEARING
A1	69.0	15.05	113° 10' 10"
A2	69.0	15.385	125° 48' 20"
A3	69.0	16.68	139° 07' 10"
A4	69.0	0.615	146° 17' 50"
A5	50.0	9.075	112° 07' 10"
A6	99.54	26.06	114° 30'
A7	15.0	17.035 P.O.	211° 51' 30"
A8	30.0	17.87 P.O.	196° 28' 20"

SCHEDULE OF BOUNDARIES & CONNECTIONS		
NUMBER	BEARING	DISTANCE
L1	61° 57' 30"	7.075
L2	331° 57' 30"	7.065
L3	274° 24' 20"	6.135
L4	351° 13' 15"	6.29

SCHEDULE OF REFERENCE MARKS			
COR.	BEARING	DIS.	DESCRIPTION
A	90° 19'	16.555	SSM 75646 FD (DP 1285568)
B	76° 07'	3.114	SSM 20224 FD (DP 1285966)
C	72° 39'	3.115	DRILL HOLE & WING
D	194° 36'	3.514	DRILL HOLE & WING
E	19° 04'	3.695	DRILL HOLE & WING
F	67° 44'	3.175	DRILL HOLE & WING
G	191° 48' 45"	0.475	G.I.P. FD (DP 818397)
H	49° 26' 50"	6.62	DRILL HOLE & WING
I	218° 21'	1.02	G.I.P. FD (DP 818397)
J	267° 42'	0.79	G.I.P. FD (DP 818397)
K	184° 16'	6.598	G.I.P. FD (DP 8156187)
L	278° 44' 45"	0.808	G.I.P. FD (DP 818397)
M	256° 07' 45"	0.807	G.I.P. FD (DP 818397)
N	281° 19'	2.715	GALVANIZED IRON PIPE
O	125° 24' 20"	10.33	DRILL HOLE & WING
P	222° 20'	3.915	SSM 202281
Q	177° 09'	2.16	G.I.P. FD (DP 1285568)
R	140° 11'	3.925	D.H. & W. FD (DP 1285568)
S	310° 33'	3.905	D.H. & W. FD (DP 1285568)
T	20° 33'	3.77	DRILL HOLE & WING
U	16° 34'	15.255	DRILL HOLE & WING
V	72° 34'	3.89	DRILL HOLE & WING
W	21° 24'	18.555	DRILL HOLE & WING
X	229° 32'	3.715	DRILL HOLE & WING
Y	128° 33'	3.88	DRILL HOLE & WING
Z	292° 53'	4.0	DRILL HOLE & WING
X	201° 51'	3.79	DRILL HOLE & WING

SURVEY MARK CONNECTIONS					
FROM	TO	MEASURED		MGA (GROUND)	
		BEARING	DIST.	BEARING	DIST.
COR. 'A'	SSM 75642	212° 56' 40"	236.15	29° 25' 48"	227.647
SSM 75642	SSM 75646	28° 25' 49"	227.655		
SSM 75646	SSM 2022274	273° 34' 50"	13.53		
SSM 75646	SSM 1392229	99° 14' 44"	642.897	99° 14' 50"	642.886
SSM 1392229	SSM 2022261	274° 59' 44"	484.897		
SSM 202261	SSM 2022275	272° 00' 30"	76.82		
SSM 202275	SSM 2022274	313° 13' 20"	84.0		
SSM 202274	SSM 2022261	113° 34' 40"	150.55		
SSM 202261	COR. 'P'	222° 20'	3.915		



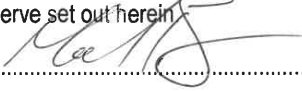
Surveyor : Rowan Leonard Donnelly Date of Survey : 11th November 2022 Surveyor's Ref : 20160610_4	PLAN OF SUBDIVISION OF LOT 300 IN DP 1285968	LGA: ARMIDALE REGIONAL Locality : ARMDALE Subdivision No: SC-26-2022 Lengths are in metres, Reduction Ratio 1:400	Registered  03/02/2023	DP1291144
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PLAN FORM 6 (2020)

WARNING: Creasing or folding will lead to rejection

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 1 of 3 sheet(s)

<p>Registered:  03/02/2023</p> <p>Title System: TORRENS</p>	<p>Office Use Only</p> <p>Office Use Only</p> <p><b>DP1291144</b></p>
<p><b>PLAN OF SUBDIVISION OF LOT 300 IN DP 1285968</b></p>	<p>LGA: ARMIDALE REGIONAL</p> <p>Locality: ARMIDALE</p> <p>Parish: ARMIDALE</p> <p>County: SANDON</p>
<p><b>Survey Certificate</b></p> <p>I Rowan Leonard Donnelly.....        of New England Surveying &amp; Engineering, PO Box 656, Armidale        a surveyor registered under the <i>Surveying and Spatial Information Act 2002</i>, certify that:</p> <p><del>*(a) The land shown in the plan was surveyed in accordance with the Surveying and Spatial Information Regulation 2017, is accurate and the survey was completed on ....., or</del></p> <p>*(b) The part of the land shown in the plan (*being/*excluding** Lots 401 to 412 inclusive and Part Lot 400) was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2017</i>, the part surveyed is accurate and the survey was completed on, 11<sup>th</sup> November, 2022 the part not surveyed was compiled in accordance with that Regulation, or</p> <p><del>*(c) The land shown in this plan was compiled in accordance with the Surveying and Spatial Information Regulation 2017.</del></p> <p>Datum Line: SSM 75642 – SSM 75646</p> <p>Type: *Urban/*Rural</p> <p>The terrain is *Level-Undulating / *Steep-Mountainous.</p> <p>Signature:  Dated: 12/1/23</p> <p>Surveyor Identification No: 72</p> <p>Surveyor registered under the <i>Surveying and Spatial Information Act 2002</i></p> <p>*Strike out inappropriate words.</p> <p>**Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.</p>	<p><b>Crown Lands NSW/Western Lands Office Approval</b></p> <p>I, ..... (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given.</p> <p>Signature: .....</p> <p>Date: .....</p> <p>File Number: .....</p> <p>Office: .....</p> <hr/> <p><b>Subdivision Certificate</b></p> <p>I, <u>MICHAEL FLYNN (DEVELOPMENT ENGINEER)</u>        *Authorised Person/*General Manager/*Registered Certifier, certify that the provisions of s.6.15 of the <i>Environmental Planning and Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set out herein</p> <p>Signature:  .....</p> <p>Registration number: .....</p> <p>Consent Authority: <u>ARMIDALE REGIONAL COUNCIL</u></p> <p>Date of endorsement: <u>12/01/23</u></p> <p>Subdivision Certificate number: <u>SC-26-2022</u></p> <p>File number: <u>DA-117-2012/G</u></p> <p>*Strike through if inapplicable.</p>
<p>Plans used in the preparation of survey/compilation.</p> <p>DP 1248798      DP 1285968</p> <p>DP 1252526</p> <p>DP 1281174</p> <p>DP 1274851</p>	<p>Statements of intention to dedicate public roads create public reserves and drainage reserves, acquire/resume land.</p> <p>IT IS INTENDED TO DEDICATE HONEYSUCKLE DRIVE 19 WIDE AND VARIABLE WIDTH &amp; THE EXTENSION OF BUSHEL STREET 16 WIDE TO THE PUBLIC AS PUBLIC ROAD</p>
<p>Surveyor's Reference: 20160610_4</p>	<p>Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A</p>

## PLAN FORM 6A (2019)

## DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 2 of 3 sheet(s)



03/02/2023

Office Use Only

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Registered:

DP1291144

PLAN OF SUBDIVISION OF LOT 300 IN  
DP 1285968

This sheet is for the provision of the following information as required:

A schedule of lots and addresses - See 60(c) SSI Regulation 2017  
Statements of intention to create and release affecting interests in  
accordance with section 88B Conveyancing Act 1919

Signatures and seals- see 195D Conveyancing Act 1919

Any information which cannot fit in the appropriate panel of sheet 1 of  
the administration sheets.

Subdivision Certificate number: SC-26-2022

Date of Endorsement: 12/01/2023

PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT, 1919, AS AMENDED IT IS INTENDED TO CREATE:

- (1) EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE [DA]
- (2) EASEMENT FOR DRAINAGE OF SEWAGE VARIABLE WIDTH [DB]
- (3) EASEMENT FOR SERVICES (THE WHOLE OF THE LOT) [DC]
- (4) RIGHT OF ACCESS 19 WIDE & 20 WIDE [DD]
- (5) EASEMENT FOR SIGNAGE 2 WIDE [DE]
- (6) POSITIVE COVENANT [DF]
- (7) RESTRICTIONS ON THE USE OF LAND
- (8) RESTRICTION ON THE USE OF LAND

PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT, 1919, AS AMENDED IT IS INTENDED TO RELEASE:

- (1) ~~(1)~~ EASEMENT FOR SERVICES (THE WHOLE OF THE LOT) CREATED BY DP 1285968
- (2) ~~(2)~~ RIGHT OF CARRIAGEWAY 20 WIDE & VARIABLE WIDTH CREATED BY DP 1248798

I certify that I am an eligible witness and that the  
persons signing opposite with whom I am  
personally acquainted or as to whose identity I  
am otherwise satisfied, signed the instrument in  
my presence

Signature of Witness

Bryson Cox

Name of Witness

265 Braumant St, Hamilton

Address of Witness

Signature of Witness

Bryson Cox

Certified correct for the purposes of the Real  
Property Act 1900 by the Attorneys for McCloy  
Dumaresq Pty Ltd ACN 608 901 597 pursuant to  
power of attorney Book 4751 No 423

Signature of Attorney

HARRI THOMSON

Name of Attorney


Signature of Attorney

SHANE BOSHER

If space is insufficient use additional annexure sheet

Surveyor's Reference: 20160610\_4

PLAN FORM 6A (2019)    **DEPOSITED PLAN ADMINISTRATION SHEET**    Sheet 3 of 3 sheet(s)

 03/02/2023    Office Use Only	Office Use Only
<b>Registered:</b> <b>PLAN OF SUBDIVISION OF LOT 300 IN DP 1285968</b>	<b>DP1291144</b>
Subdivision Certificate number: <u>SC-26-2022</u> Date of Endorsement: <u>12/01/2022</u>	<p>This sheet is for the provision of the following information as required:</p> <p>A schedule of lots and addresses - See 60(c) <i>SSI Regulation 2017</i> Statements of intention to create and release affecting interests in accordance with section 88B <i>Conveyancing Act 1919</i> Signatures and seals- see 195D <i>Conveyancing Act 1919</i> Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.</p>

Lot	Street Number	Street Name	Street Type	Locality
400	60	Cookes	Road	Armidale
401	58	Cookes	Road	Armidale
402	33	Bushel	Street	Armidale
403	32	Bushel	Street	Armidale
404	40	Honeysuckle	Drive	Armidale
405	42	Honeysuckle	Drive	Armidale
406	44	Honeysuckle	Drive	Armidale
407	46	Honeysuckle	Drive	Armidale
408	48	Honeysuckle	Drive	Armidale
409	50	Honeysuckle	Drive	Armidale
410	52	Honeysuckle	Drive	Armidale
411	54	Honeysuckle	Drive	Armidale
412	56	Honeysuckle	Drive	Armidale

If space is insufficient use additional annexure sheet