

LOT 801 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

MASTER PLAN



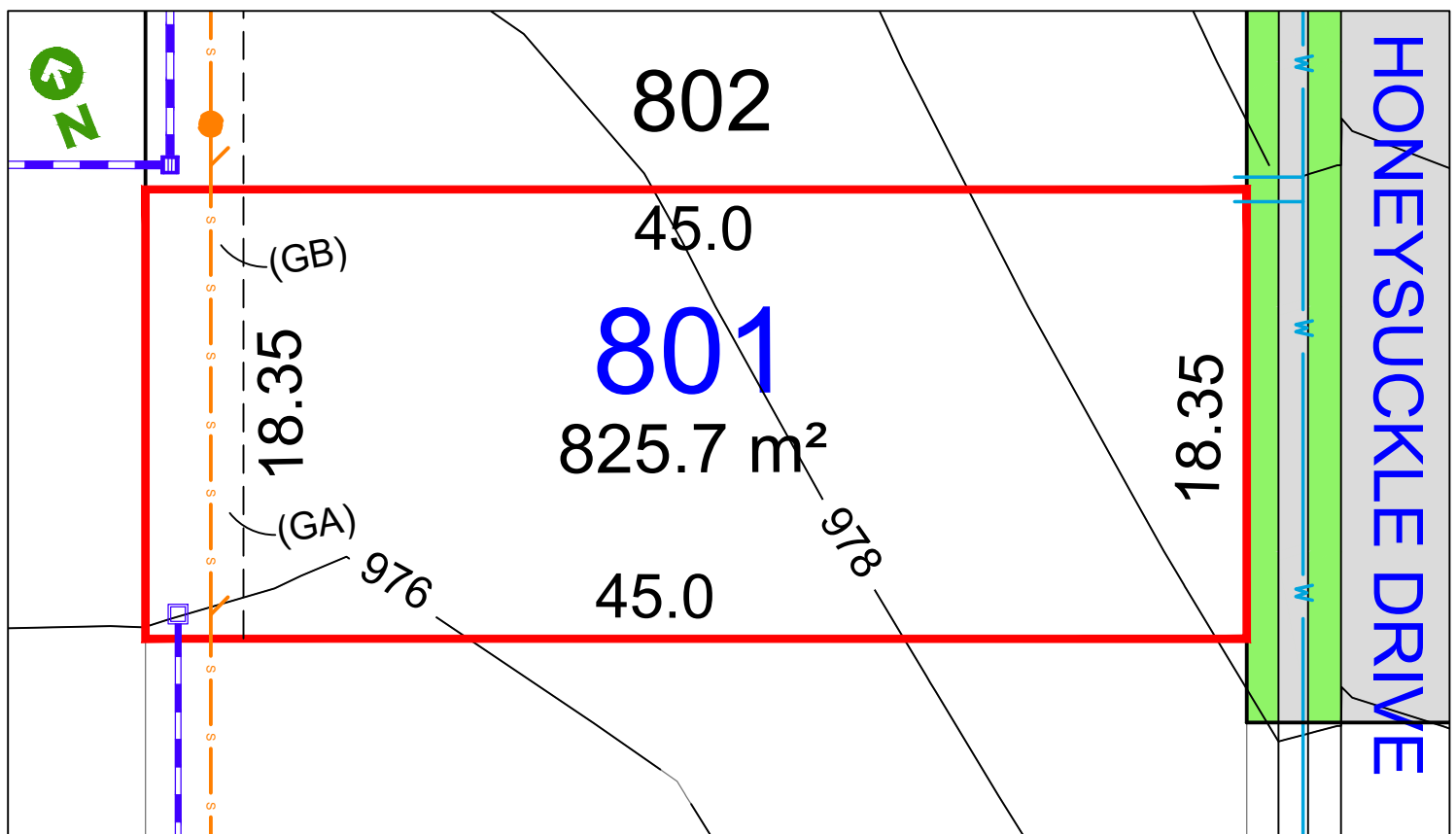
STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4

0 5 10 15 20



LEGEND:

- | | | | |
|--|-----------------------|--|-----------------------|
| | TELSTRA / NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA / NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 2.0m |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE
(GB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
(GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
(GD) - EASEMENT FOR SERVICES (THE WHOLE LOT)
(GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE
GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS
ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

DISCLAIMER/ NOTES:

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4. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
5. This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
6. This document does not form part of the Contract of Sale of the Land.

REVISION/S: HD45 STAGE 8 MARKETING r1

DATE: 27th October 2022

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 802 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

MASTER PLAN



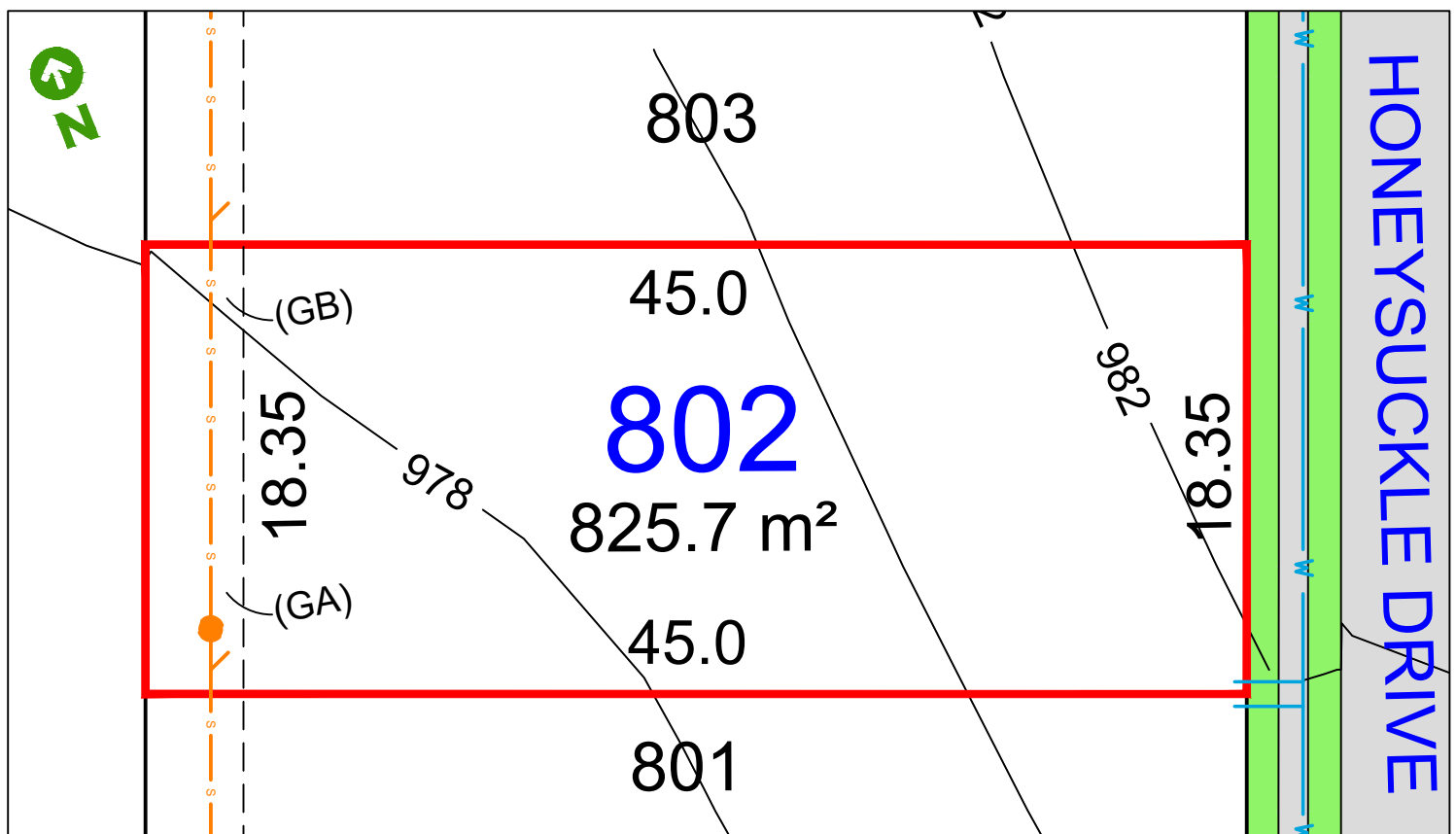
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PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4

0 5 10 15 20



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- | | | | |
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| | SEWER MANHOLE | | WATER MAIN |
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| | KERB INLET PIT | | UNDER GROUND POWER |
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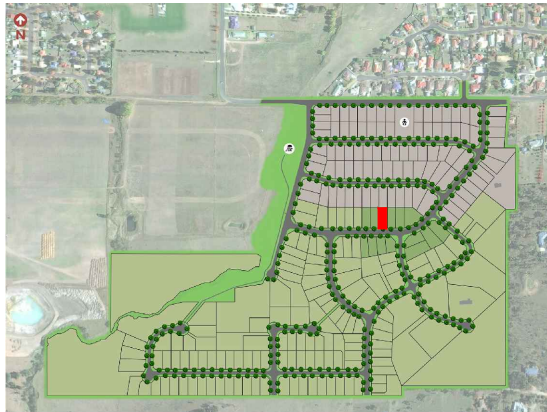
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LOT 803 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

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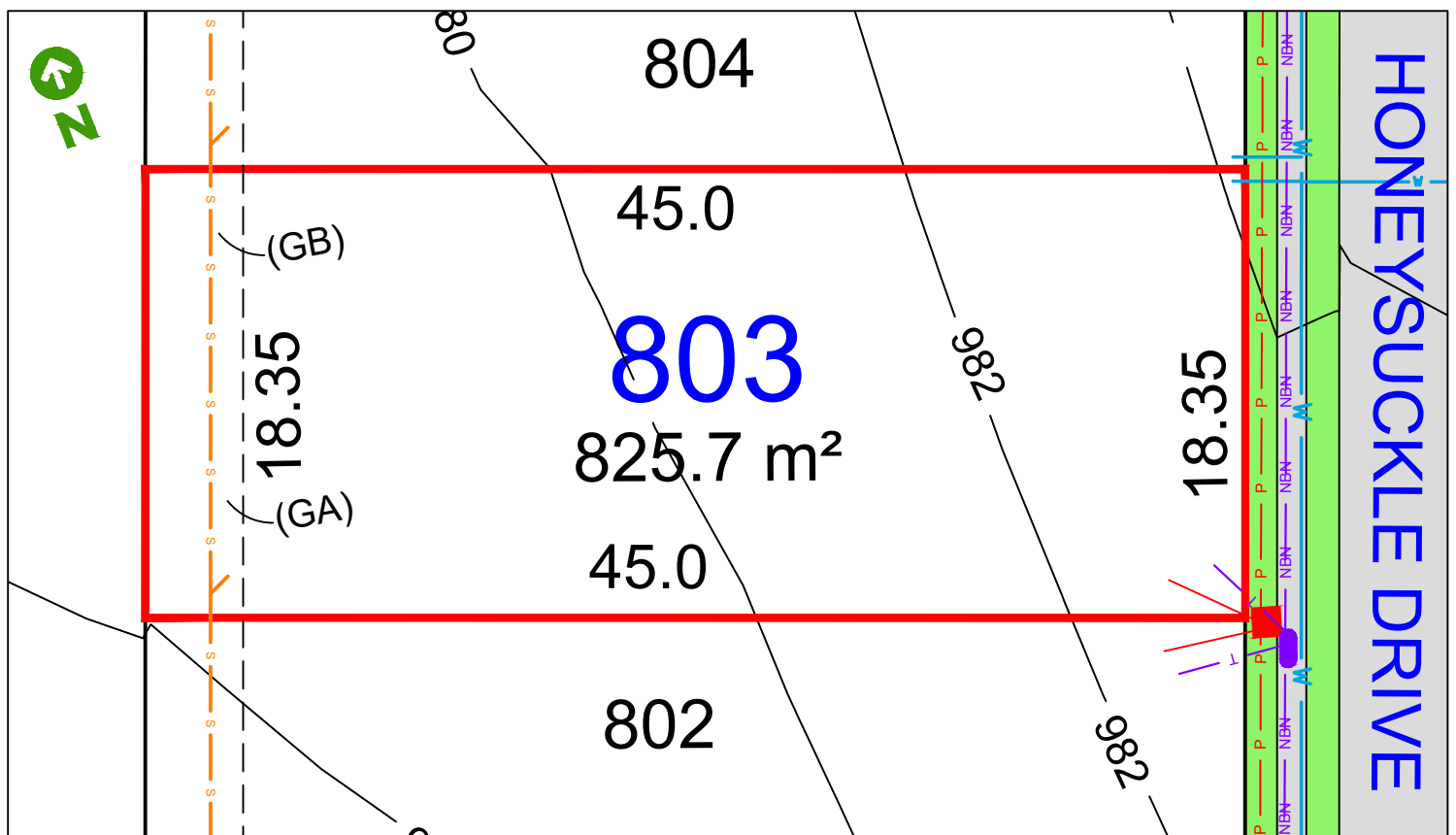
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PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4

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LEGEND:

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- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER
- CONTOUR INTERVAL 2.0m

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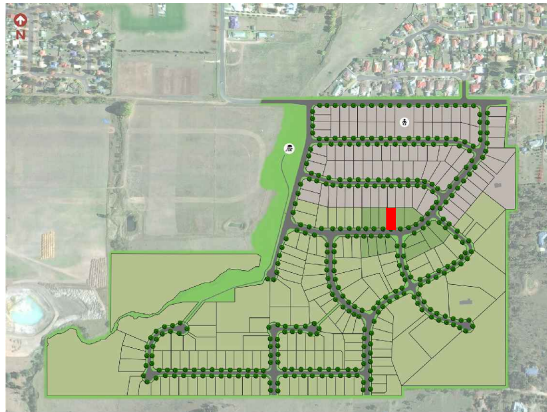
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LOT 801 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

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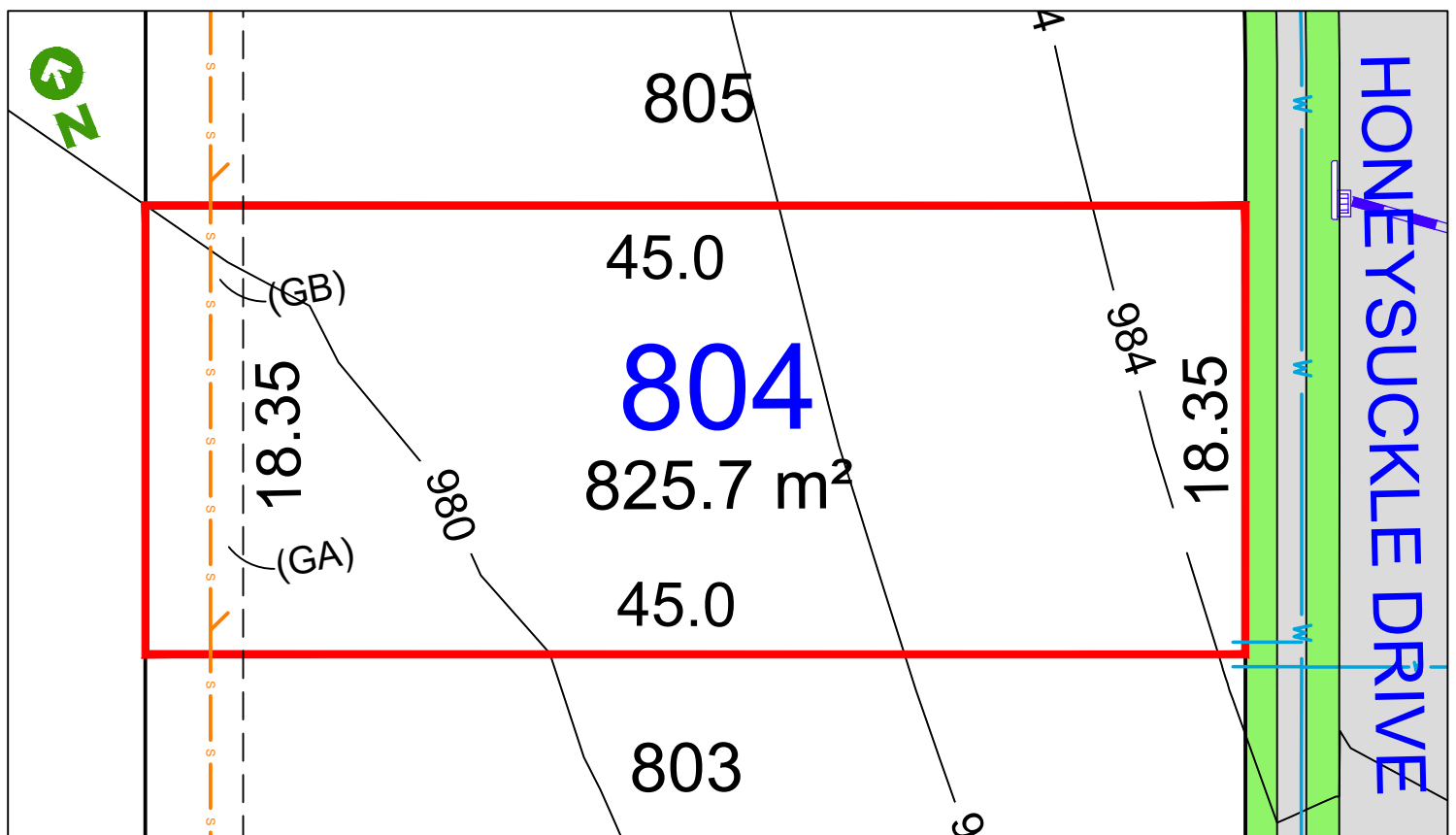
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PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4

0 5 10 15 20



LOT 805 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

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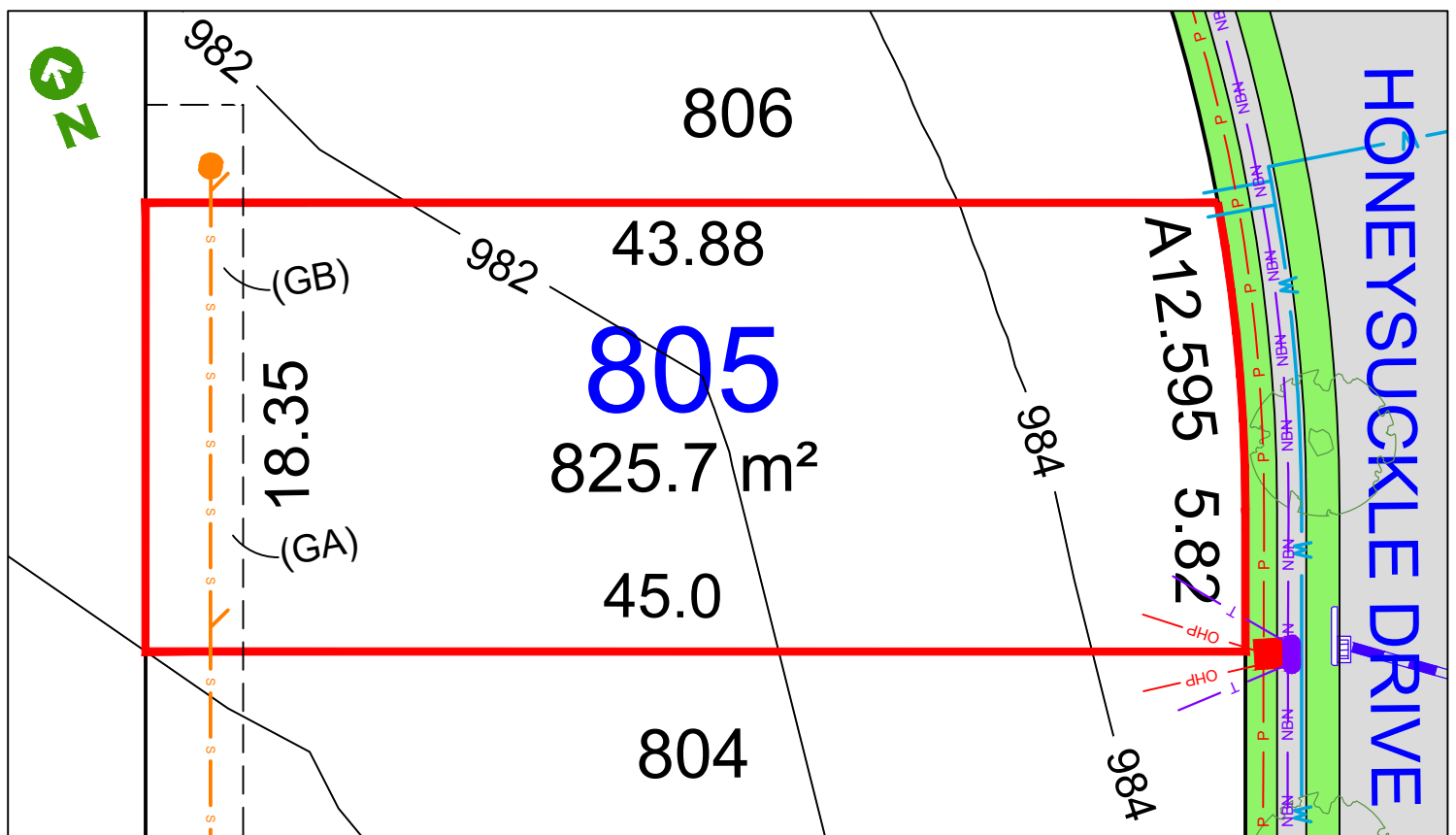
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PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4

0 5 10 15 20



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- | | | | |
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| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 2.0m |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

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(GB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
(GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
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LOT 806 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

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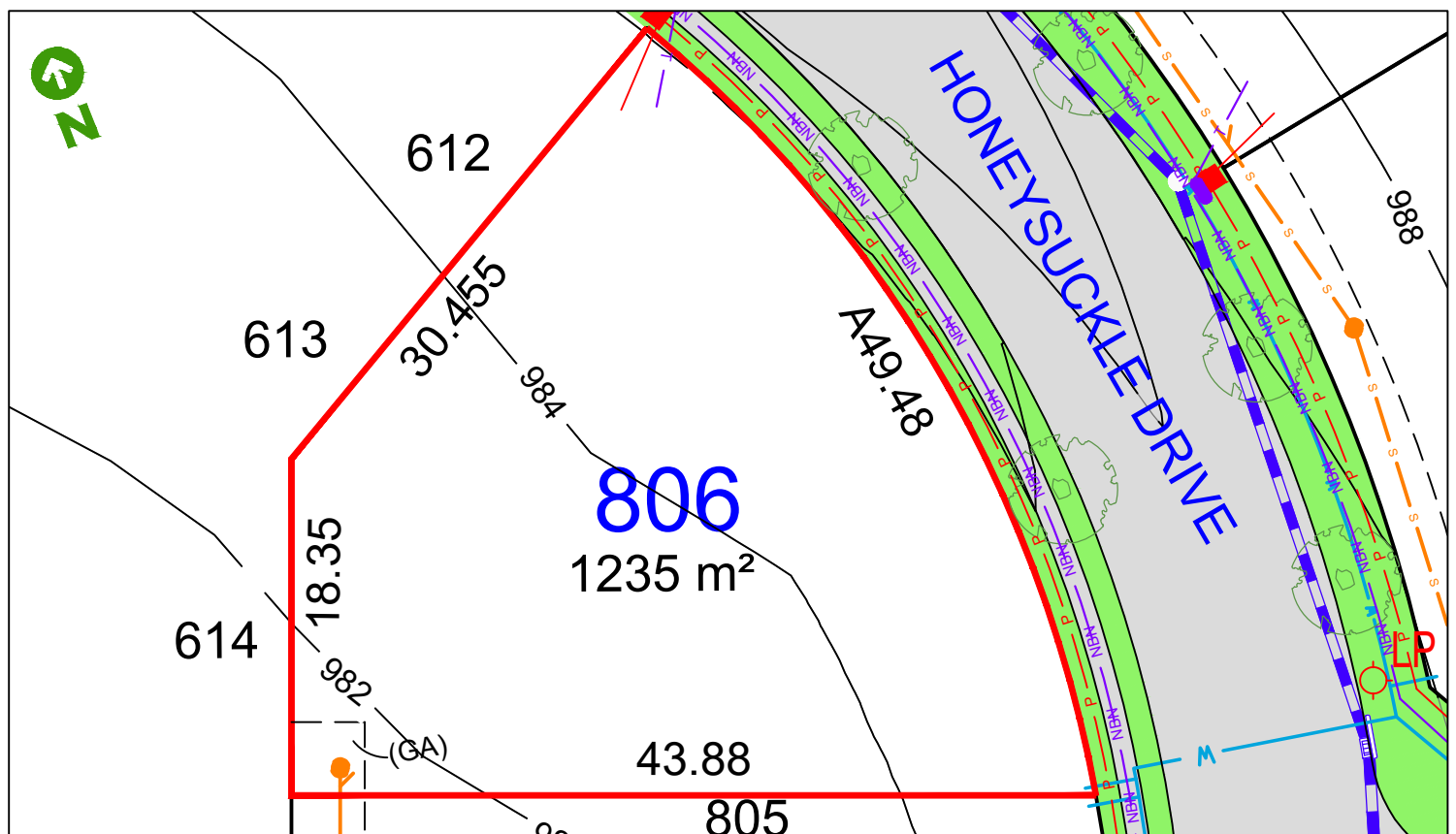
STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:400 @ A4

0 5 10 15 20



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER
- CONTOUR INTERVAL 2.0m

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE
 - (GB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
 - (GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
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LOT 807 HONEYSUCKLE DRIVE, ARMIDALE



**COOKES
HILL**
ARMIDALE

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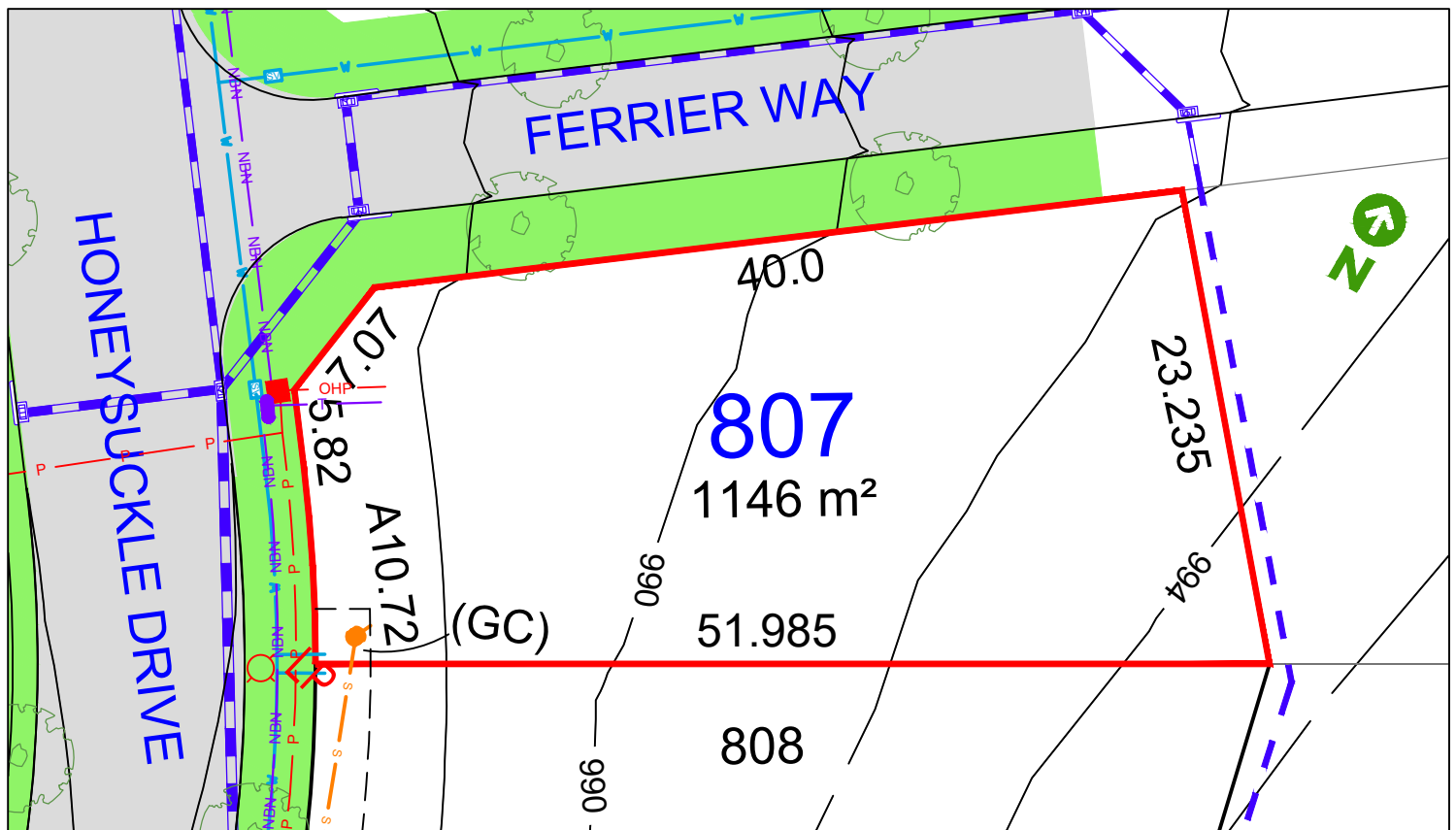
STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:400 @ A4

0 5 10 15 20



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER
- CONTOUR INTERVAL 2.0m

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE
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LOT 808 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
HILL
ARMIDALE

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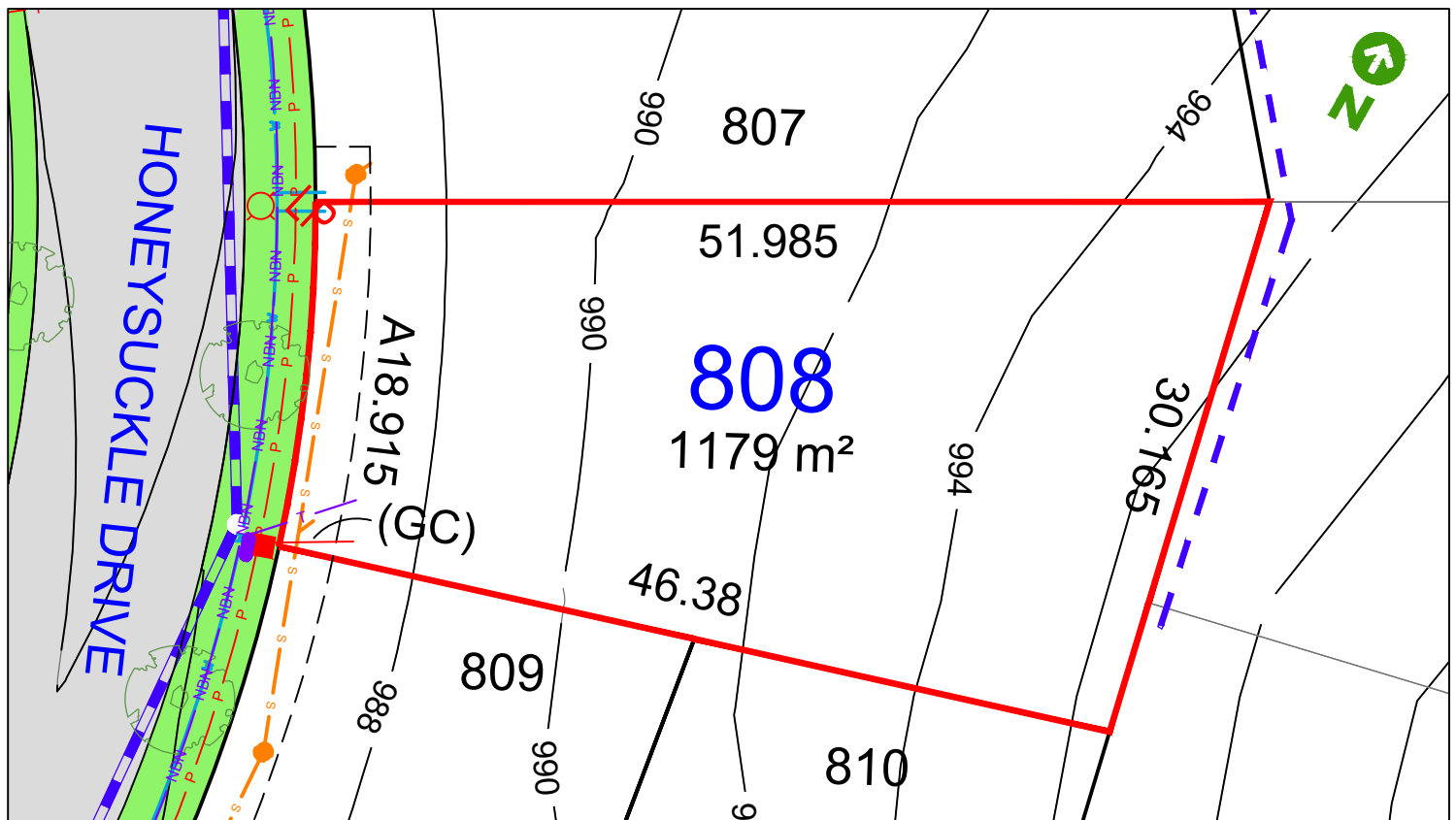
STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:400 @ A4

0 5 10 15 20



LEGEND:

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- HYDRANT
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- STORMWATER PIT
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- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER
- CONTOUR INTERVAL 2.0m

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE
 - (GB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
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LOT 809 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
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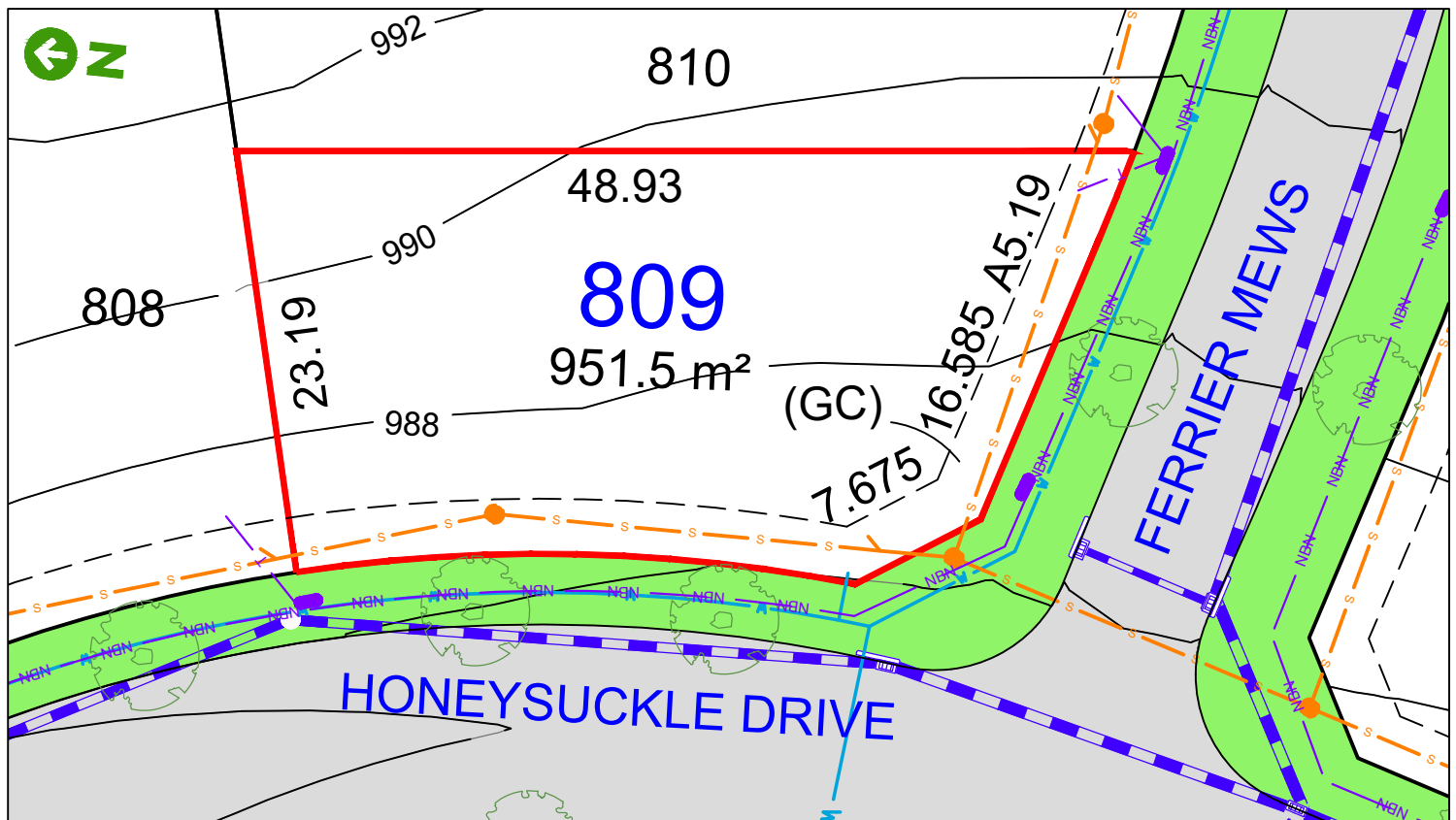
STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:400 @ A4

0 5 10 15 20



LEGEND:

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- LIGHT POLE
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- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER
- CONTOUR INTERVAL 2.0m

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

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 - (GB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
 - (GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
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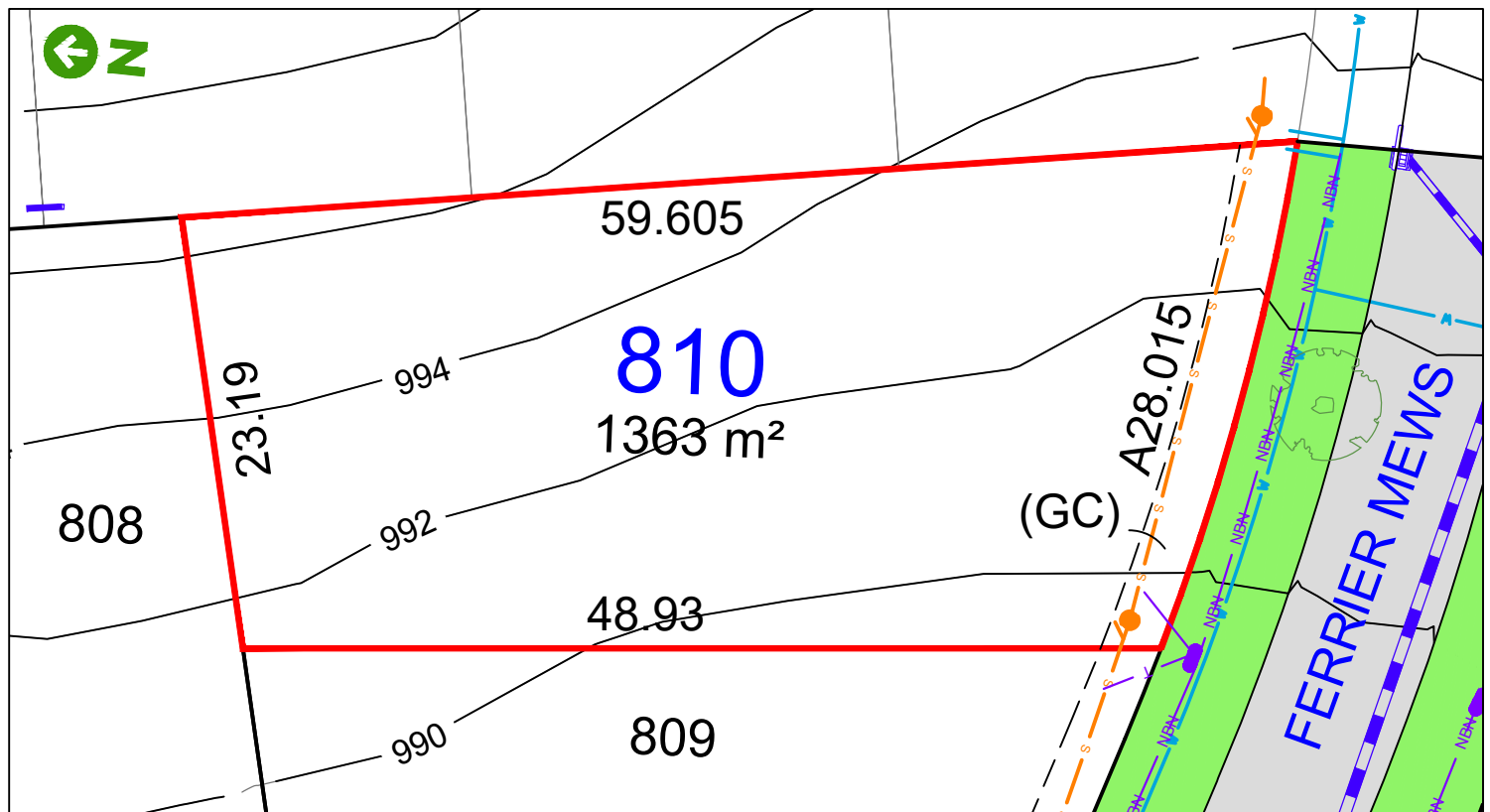
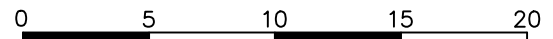


STAGE PLAN




















PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:250 @ A4



LEGEND:

- | | | | |
|---|-----------------------|---|-----------------------|
|  | TELSTRA /NBN PIT |  | STORMWATER PIPE |
|  | HYDRANT |  | SEWER JUNCTION |
|  | STOP VALVE |  | SEWER MAIN |
|  | SEWER MANHOLE |  | WATER MAIN |
|  | LIGHT POLE |  | TELSTRA /NBN |
|  | KERB INLET PIT |  | UNDER GROUND POWER |
|  | STORMWATER PIT |  | CONTOUR INTERVAL 2.0m |
|  | ELECTRICITY PILLAR | | |
|  | ELECTRICAL SUBSTATION | | |
|  | STREET TREES | | |
- Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)
- (GA) - EASEMENT FOR DRAINAGE OF SEWAGE
(GB) - EASEMENT FOR DRAINAGE OF WATER
(GC) - EASEMENT FOR DRAINAGE OF SEWAGE
(GD) - EASEMENT FOR SERVICES (THE WATER)

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE
(GB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
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LOT 811 HONEYSUCKLE DRIVE, ARMIDALE



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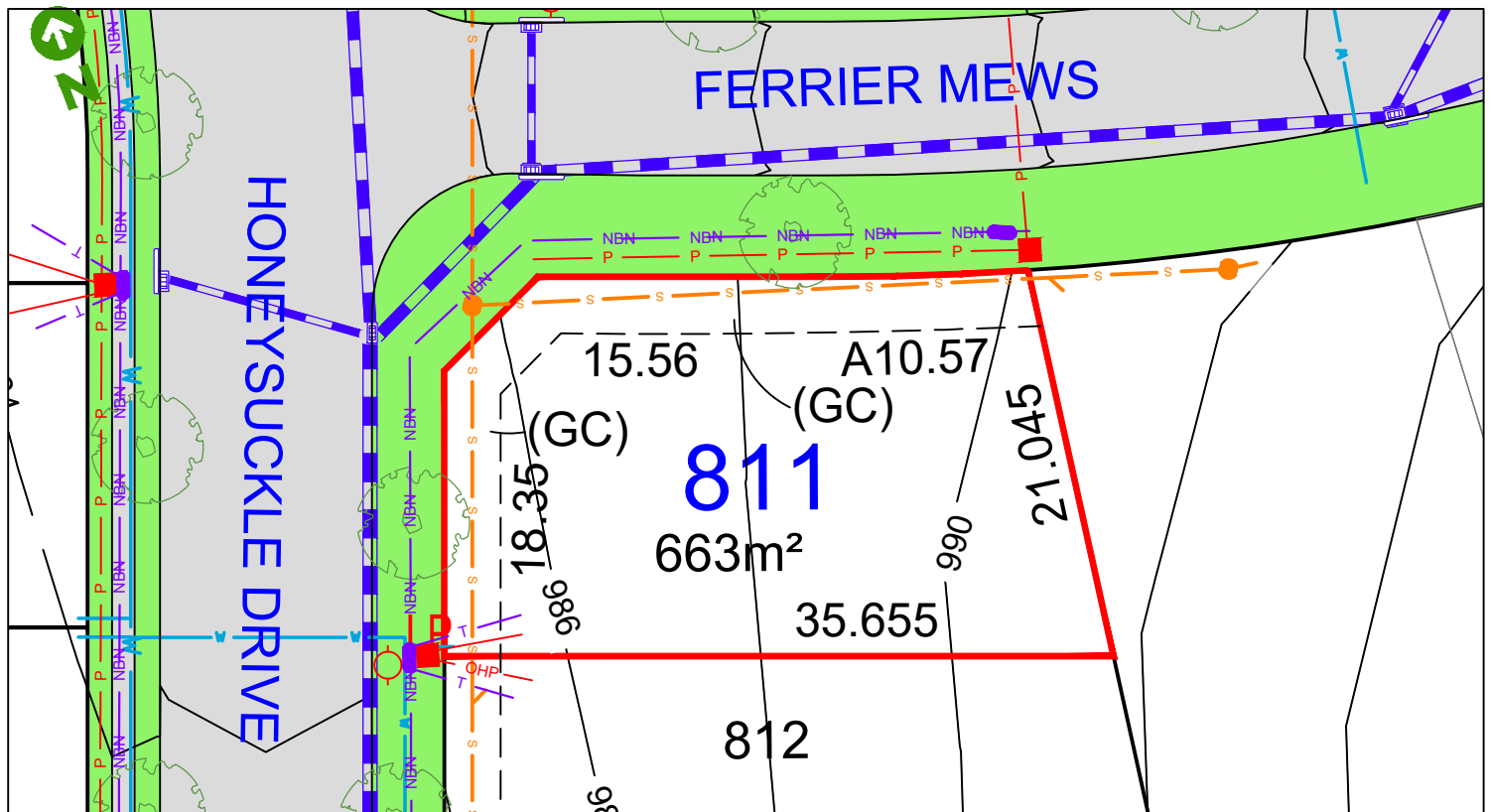
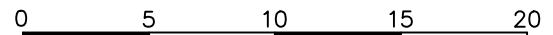


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:250 @ A4



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
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REVISION/S: HD45 STAGE 8 MARKETING r1

DATE: 27th October 2022

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 812 HONEYSUCKLE DRIVE, ARMIDALE



COOKES
—HILL—
ARMIDALE

MASTER PLAN



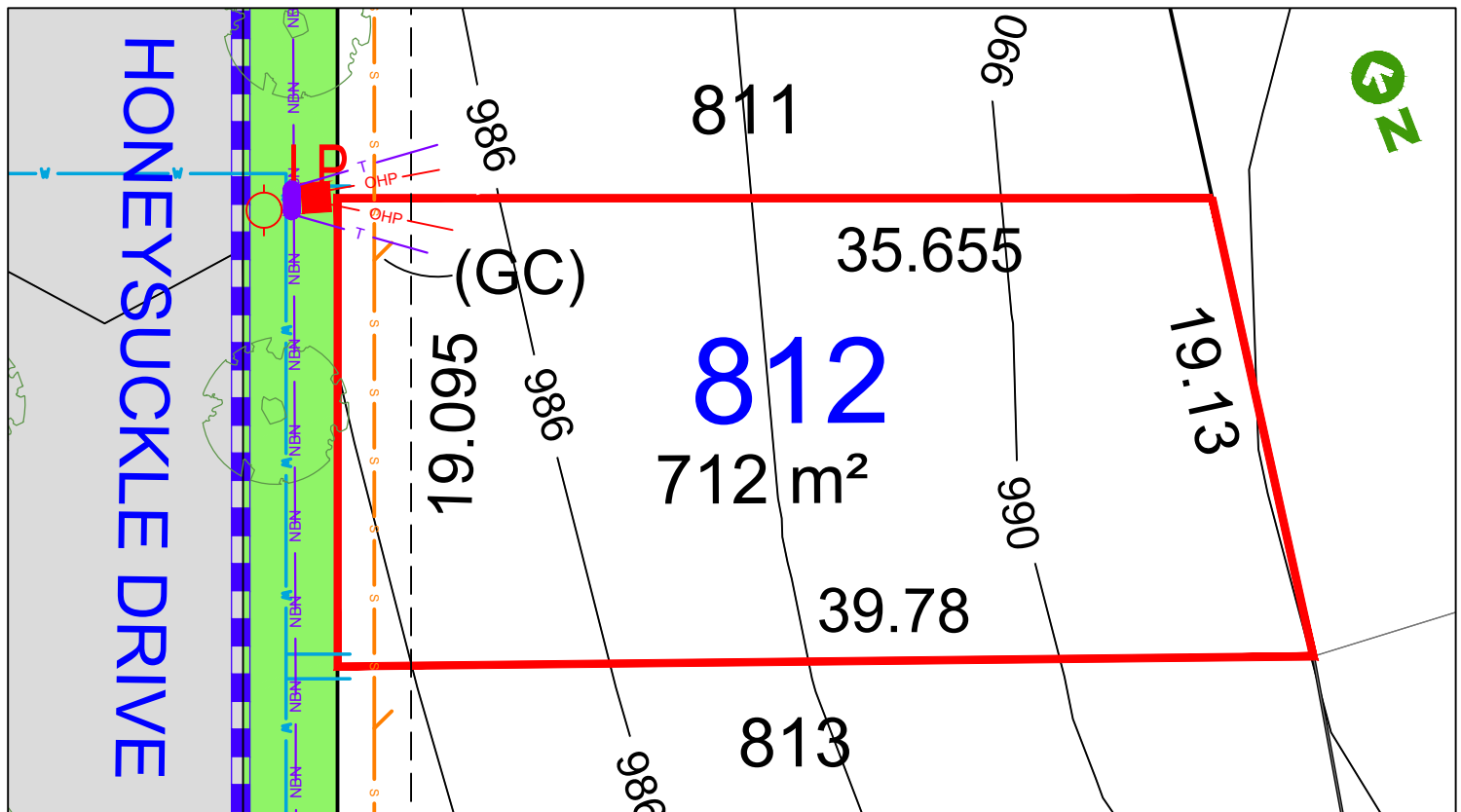
STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4

0 5 10 15 20



LEGEND:

- | | | | |
|--|-----------------------|--|-----------------------|
| | TELSTRA /NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | CONTOUR INTERVAL 2.0m |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (GA) - EASEMENT TO DRAINAGE OF SEWAGE 4 WIDE
(GB) - EASEMENT FOR DRAINAGE OF WATER 4 WIDE
(GC) - EASEMENT FOR DRAINAGE OF SEWAGE 3 WIDE
(GD) - EASEMENT FOR SERVICES (THE WHOLE LOT)
(GE) - EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE
GENERAL RESTRICTIONS ON THE USE OF LAND EFFECTS ALL LOTS
ALL AREAS, DIMENSIONS & EASEMENTS ARE SUBJECT TO FINAL SURVEY

DISCLAIMER/ NOTES:

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COOKES
HILL
ARMIDALE

MASTER PLAN



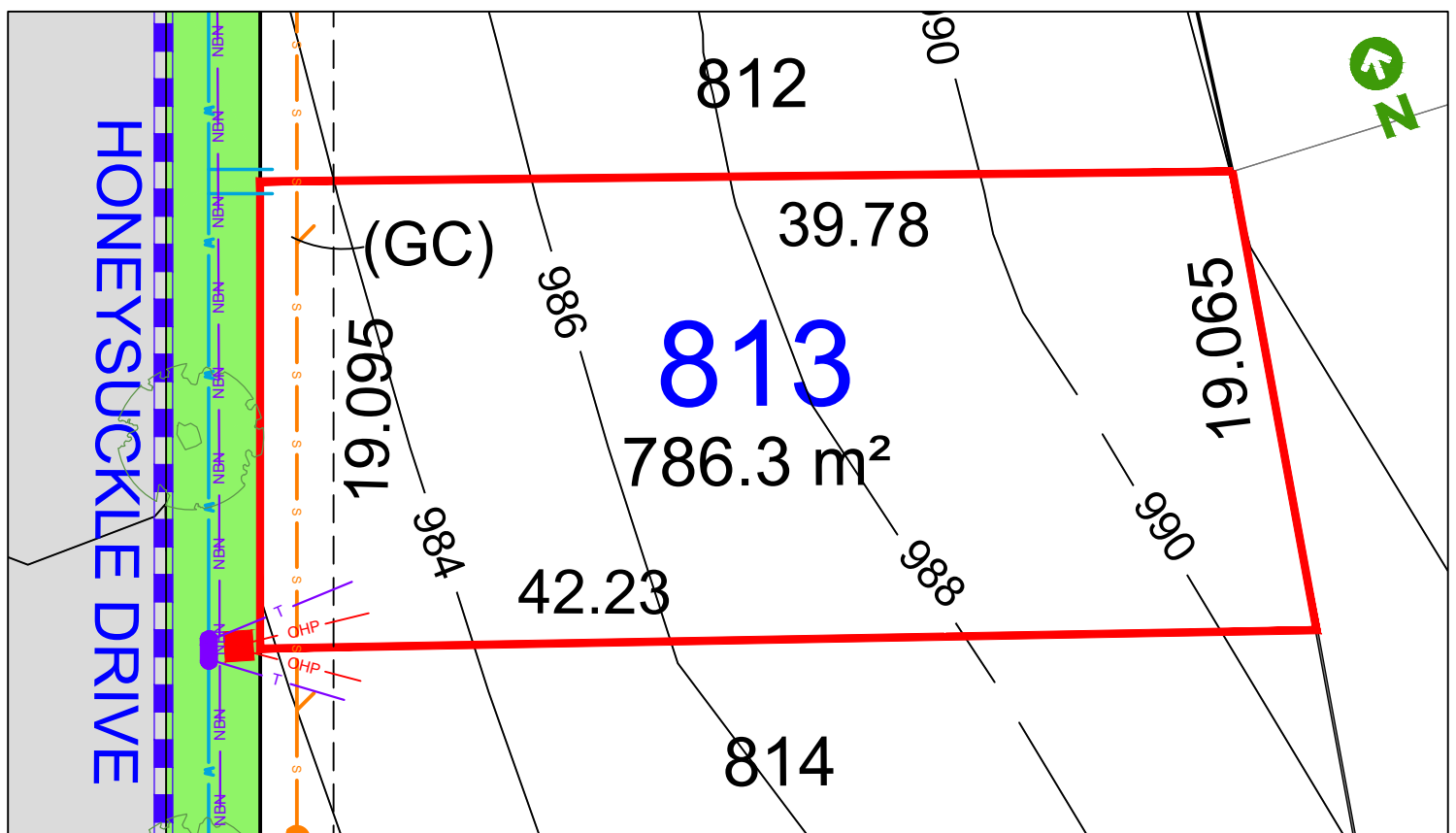
STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4

0 5 10 15 20



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
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COOKES
—HILL—
ARMIDALE

MASTER PLAN

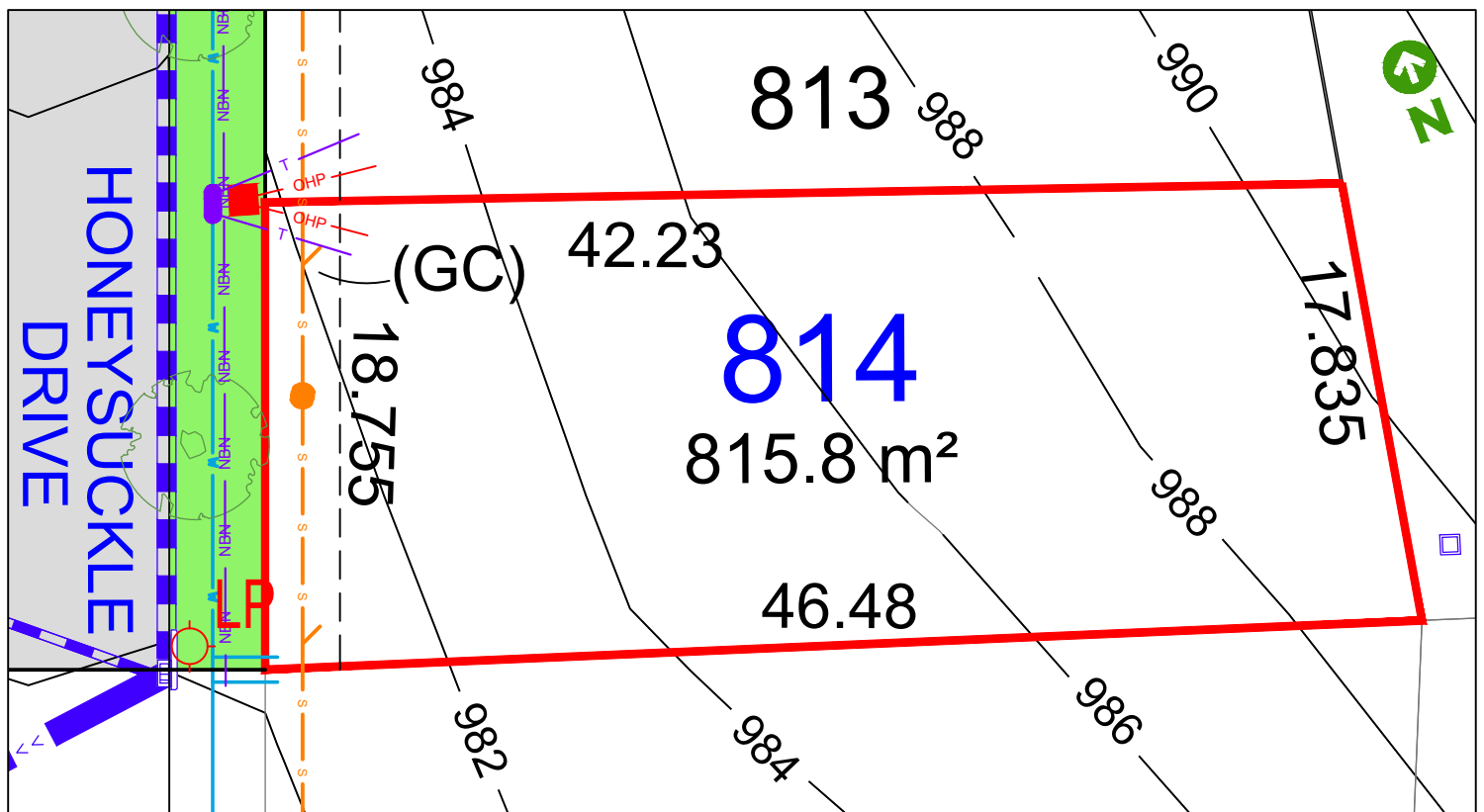
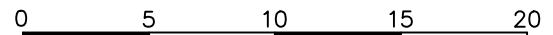


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4



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